

PROJECT SUMMARY:

LOCAL JURISDICTION: CITY AND COUNTY OF DENVER

LEGAL DESCRIPTION:
LOT 43 AND THE N 17 1/2 FEET OF LOT 42 AND THE S 11 FEET OF LOT 44,
BLOCK 16, EASTERN CAPITAL HILL 3RD FILING, CITY AND COUNTY OF
DENVER, STATE OF COLORADO.

ADDRESS:
235 S. IVY ST, DENVER, CO 80224

BUILDING FORM: URBAN HOUSE

GOVERNING CODES:
2010 DENVER ZONING CODE
2018 INTERNATIONAL RESIDENTIAL CODE
2018 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL FUEL AND GAS CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE (PERFORMANCE)
2020 NATIONAL ELECTRIC CODE
2019 DBCA

VICINITY MAP:



SCOPE:

RENOVATE EXISTING BASEMENT AND FIRST FLOOR
LIVING SPACES. ADD SECOND AND THIRD FLOOR
LIVING SPACES. EXCAVATE CRAWL SPACE INTO
BASEMENT. NEW DETACHED GARAGE.

SHEET INDEX:

- A1.01 - PROJECT INFORMATION / SITE PLAN
- A1.02 - DEMOLITION PLANS AND ELEVATIONS
- A1.03 - CONSTRUCTION PLANS
- A1.04 - CONSTRUCTION PLANS
- A1.05 - CONSTRUCTION PLANS
- A1.06 - CONSTRUCTION PLANS
- A1.07 - CONSTRUCTION PLANS
- A1.08 - EXTERIOR ELEVATIONS
- A1.09 - EXTERIOR ELEVATIONS
- A1.10 - BUILDING SECTIONS
- A1.11 - BUILDING SECTIONS
- A1.12 - WALL SECTIONS
- A1.13 - DETAILS
- A1.14 - DETAILS

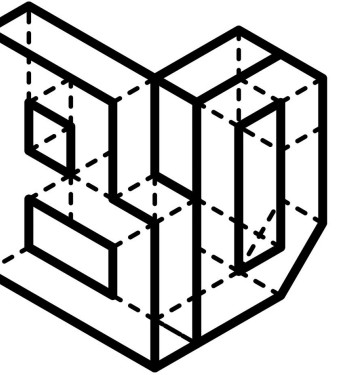
HICKS RESIDENCE RENOVATION

235 S. IVY ST :: DENVER, CO :: 80205

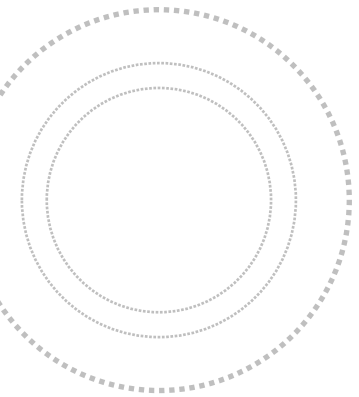


GENERAL NOTES:

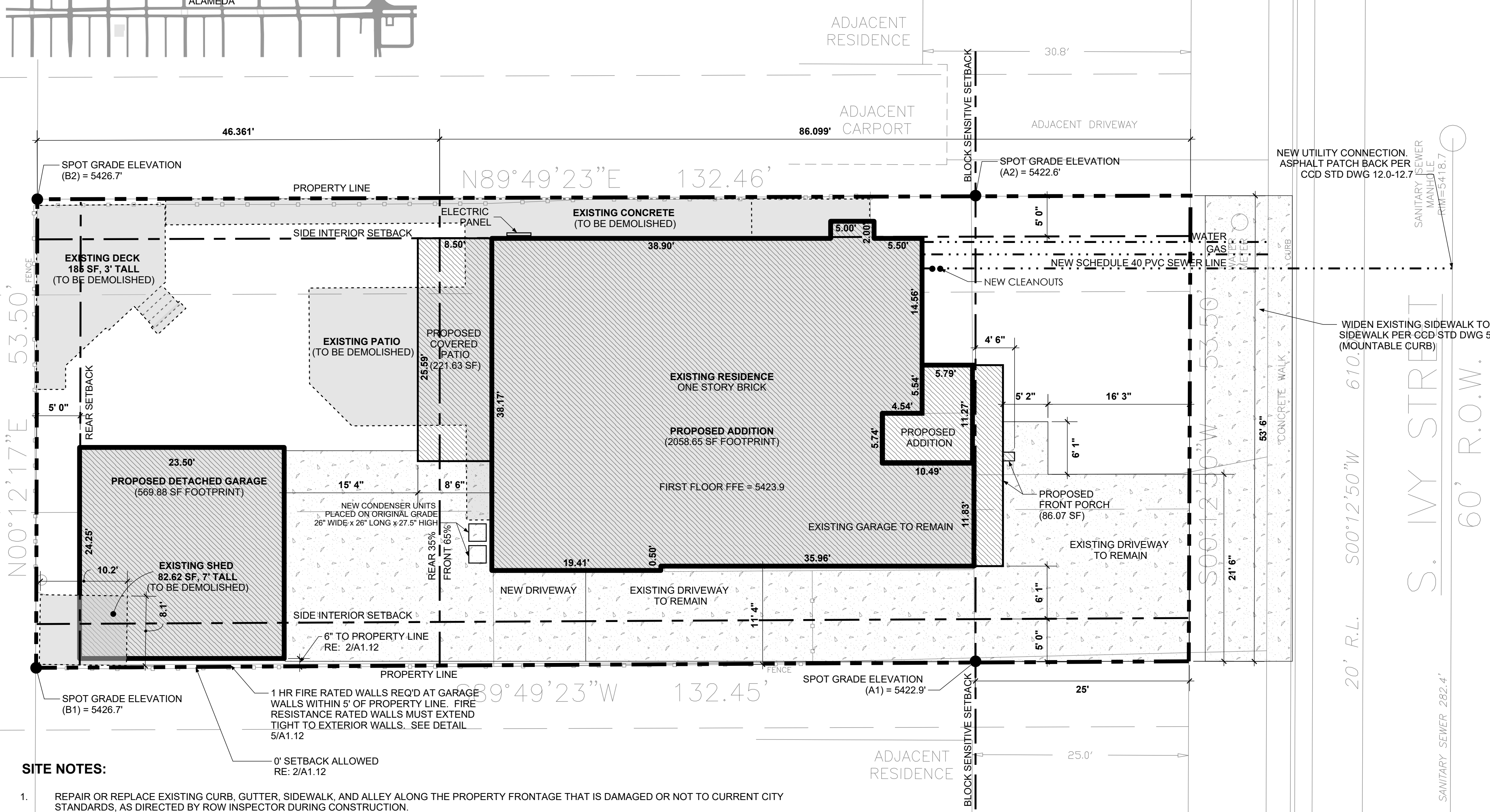
- ALL CONSTRUCTION SHALL COMPLY WITH THE CODES REFERENCED HEREIN, AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS HAVING JURISDICTION.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY REGULATORY AUTHORITIES.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES, LAWS, AND ORDINANCES APPLICABLE TO THIS PROJECT.
- THE CONTRACTOR SHALL VERIFY ALL SETBACKS, EASEMENTS, UTILITIES, AND MEASUREMENTS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, THE EXACT LOCATION OF UTILITY TAPS, THE CONNECTION OF UTILITY LINES FROM THE BUILDING TO SERVICE LINES, AND ALL FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK DONE OUTSIDE THE PROPERTY LINES SHALL BE DONE IN ACCORDANCE WITH THE REGULATORY AUTHORITIES.
- REFER TO THE SOILS REPORT PREPARED FOR THIS LOT FOR FOUNDATION AND DRAINAGE REQUIREMENTS.
- ALL LANDSCAPE DESIGN, MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING REQUIRED FOR THIS PROJECT IS BY OTHERS.
- CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS FROM SITE AS REQUIRED.
- ALL INTERIOR FINISHES SUCH AS CARPET, PAINT, TILE, HARDWOOD, ETC SHALL BE SELECTED BY THE OWNER WITH THE CONTRACTOR COORDINATING ALL SELECTIONS. CONTRACTOR SHALL SUBMIT SAMPLES TO THE OWNER FOR THESE SELECTIONS.
- ALL CABINETS, BUILT-INS, SHELVING, ETC. SHALL BE COORDINATED BY THE CONTRACTOR WITH THE OWNER DIRECTLY.
- ALL LANDSCAPE DESIGN AND LANDSCAPE APPROVALS SHALL BE BY OTHERS.
- ALL FIRE PROTECTION, LIGHTNING PROTECTION, SECURITY CAMERAS, AND HOME MANAGEMENT SYSTEMS AND ENGINEERING REQUIRED FOR THESE SYSTEMS IS BY THE CONTRACTOR AND SHALL BE COORDINATED BY THE CONTRACTOR.
- ALL DOORS, INTERIOR AND EXTERIOR AND HARDWARE SHALL BE SELECTED BY THE CONTRACTOR AND COORDINATED WITH THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION METHODS, TYP.
- ALL DRAWINGS INCLUDED IN THIS SET ARE THE EXCLUSIVE PROPERTY OF THE DESIGNER AND ARE FULLY PROTECTED BY FEDERAL AND STATE COPYRIGHT LAWS. REPRODUCTIONS ARE ONLY ALLOWED WITH THE WRITTEN PERMISSION FROM THE DESIGNER. AUTHORIZED REPRODUCTIONS MUST BEAR THE NAME OF THE DESIGNER AND INCLUDE THE DESIGNER'S STATEMENT OF UNPUBLISHED WORK. ANY INFRINGEMENT ON THIS PROPERTY WILL BE VIGOROUSLY PROSECUTED.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BARRIERS, LIGHTING, COVERING AND FIRE PREVENTION NECESSARY FOR THE SAFETY OF ALL PERSONNEL AND THE PROPERTY THROUGHOUT THE DURATION OF THE CONSTRUCTION CONTRACT.
- CONTRACTOR SHALL PROTECT ALL IN PLACE CONSTRUCTION, LANDSCAPING, PAVING, UTILITIES, ETC. FROM DAMAGE DURING CONSTRUCTION. ALL DAMAGED PAVING, CONSTRUCTION, LANDSCAPING, ETC. TO BE RESTORED TO ORIGINAL CONDITION BY CONTRACTOR DAMAGING SAME.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND STRUCTURAL MEMBER SIZES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY EXACT LOCATION OF ALL UTILITY LINES AND INTERCEPT AS REQUIRED TO KEEP ALL PIPING AS CLOSE TO WALLS AND AS HIGH TO UNDERSIDE OF STRUCTURE AS POSSIBLE.
- CONTRACTOR SHALL COORDINATE ALL ELECTRICAL FLOOR AND WALL SLEEVES WITH ARCHITECTURAL DRAWINGS.
- CONTRACTOR TO COORDINATE PLACEMENT OF ALL CEILING ELEMENTS WITH ELECTRICAL INSTALLER.
- ALL EQUIPMENT, FIXTURES, AND MATERIALS SHALL BE LISTED BY UNDERWRITERS LABORATORIES.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID MOLECULAR BREAKDOWN.
- A FINISH OR FIRE RATING INDICATION ON A WALL SHALL MEAN THE ENTIRE LENGTH OF WALL IS TO BE FINISHED OR FIRE-RATED AS INDICATED.
- NOTES APPEAR ON VARIOUS SHEETS FOR DIFFERENT SYSTEMS AND CONSTRUCTION MATERIALS. ALL SHEETS ARE TO BE REVIEWED AND NOTES ON ANY ONE SHEET ARE TO BE APPLIED TO ALL RELATED DRAWINGS AND SYSTEMS.
- DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED.
- PROVIDE BLOCKING AS REQUIRED FOR CEILING AND WALL-MOUNTED ITEMS.
- DO NOT SCALE DRAWINGS.
- MANUFACTURER'S NAMEPLATES, TRADEMARKS, LOGOS, OR THEIR IDENTIFICATION SHALL NOT BE VISIBLE IN PUBLIC AREAS.
- ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS.
- DIMENSION STRINGS ARE TO EITHER EXISTING FINISHED SURFACE OR NEW FRAMING MEMBER (I.E. ROUGH OPENING, FACE OF WALL, STUD, POST, BOTTOM OF JOIST ETC., U.N.O.)
- EV READY DESIGN SHALL FULLY COMPLY WITH DBCA SECTION N1104 (R404).



BRIGHTMAN DESIGNS
2417 E. 28th Ave.
Denver, CO 80205
720.443.3242
info@brightmandesigns.com



PROJECT INFO



SITE NOTES:

- REPAIR OR REPLACE EXISTING CURB, GUTTER, SIDEWALK, AND ALLEY ALONG THE PROPERTY FRONTAGE THAT IS DAMAGED OR NOT TO CURRENT CITY STANDARDS, AS DIRECTED BY ROW INSPECTOR DURING CONSTRUCTION.
- THE CONTRACTOR MUST OBTAIN ALL PROJECT ROW PERMITS ASSOCIATED WITH CONSTRUCTION IN THE ROW. IMPROVEMENTS MADE WITHIN THE PUBLIC ROW TOTALING MORE THAN \$20,000 NEED A PERFORMANCE BOND. CONTACT ROW CONSTRUCTION INSPECTION AT 303-446-3469 OR PWERMITS@DENVERGOV.ORG AT LEAST 2 WEEKS BEFORE ANY ROW PERMIT NEEDS.
- ALL WORK IN THE PUBLIC ROW SHALL CONFORM TO CURRENT CITY & COUNTY OF DENVER SPECIFICATIONS. SHALL BE PERFORMED BY A LICENSED AND BONDED ROW CONTRACTOR, AND NEED INSPECTION BY THE CITY PRIOR ISSUANCE OF A TEMPORARY OR PERMANENT CERTIFICATE OF OCCUPANCY (TCO OR CO).
- CONTRACTOR MUST SUPPLY AND MAINTAIN ADEQUATE TRAFFIC CONTROL THROUGHOUT THE PROJECT, INCLUDING PROPER TRAFFIC CONTROL DEVICES AND/OR PERSONNEL AS NEEDED. A TRAFFIC CONTROL PLAN (TCP) IS SUBJECT TO CITY AND COUNTY OF DENVER AND/OR CDOT APPROVAL PRIOR TO STARTING WORK ON ROADWAY ROW. A COPY OF APPROVED TCP MUST BE AVAILABLE ON-SITE DURING WORK. TRAFFIC CONTROL TO BE PER MUTCD SECTION VI.
- PER SECTION 49-551.1 OF THE DENVER MUNICIPAL CODE, THE PROPERTY OWNER OR LESSEE OF ANY REAL PROPERTY HANDLES THE CONTINUING CARE, MAINTENANCE, REPAIR, AND REPLACEMENT OF ALL IMPROVEMENTS INSTALLED IN THE PUBLIC ROW BETWEEN THE PROPERTY LINE AND THE CURB LINE ADJOINING THEIR PROPERTY. ANY EXISTING CURB, GUTTER, CURB RAMP, DRIVEWAY, AND/OR SIDEWALK ON THE PROJECT'S ROW FRONTAGE THAT DOES NOT MEET ADA CRITERIA OR THAT IS DAMAGED MUST BE REPAIRED OR REPLACED AT THE DIRECTION OF RIGHT OF WAY CONSTRUCTION INSPECTION.

SITE PLAN

SCALE :: 1/8" = 1' - 0"

ZONING		
ZONE DISTRICT: E-SU-DX	ALLOWED	PROVIDED
BUILDING FORM: URBAN HOUSE		
MAX STORIES (FRONT 65% / REAR 35%)	2.5 / 1	2.5
MAX HEIGHT (FRONT 65% / REAR 35%)	30' / 17'	29'-11" / 11'-1 3/4"
PRIMARY STREET SETBACK (EAST)	BLOCK SENSITIVE SETBACK REQ'D	BLOCK SENSITIVE SETBACK REQ'D
SIDE INTERIOR SETBACK (NORTH)	5'	5' (EXISTING)
REAR SETBACK (NO ALLEY)	12'	43'-7 3/4"
SIDE INTERIOR SETBACK (SOUTH)	5'	10'-5 1/2"
FRONT UPPER STORY STEPBACK (EAST)	10'	10'
MAX BUILDING COVERAGE (INCLUDING GARAGE)	37.5%	37.41%
PARKING SPACES	-	1
BUILDING FORM: DETACHED GARAGE		
MAX STORIES	1	1
MAX HEIGHT	17'	11'-1 3/4"
SOUTH SIDE INTERIOR SETBACK (ENTIRELY IN REAR 35%)	0'	0'
REAR SETBACK (NO ALLEY)	5'	5'
MAX BUILDING COVERAGE	1000 SF	569.88 SF
PARKING SPACES	-	2

SQUARE FOOTAGE CALCULATIONS		
BUILDING FORM AND HABITABLE SPACE	ZONING LAND USE	GROSS FLOOR AREA (GFA)
PRIMARY URBAN HOUSE BUILDING FORM		
BASEMENT - HABITABLE	ONE-UNIT DWELLING	1186.12 SF
1ST FLOOR - HABITABLE		1749.08 SF
1ST FLOOR - GARAGE		257.40 SF
2ND FLOOR - HABITABLE		1538.44 SF
3RD FLOOR - HABITABLE		474.22 SF
TOTAL HOUSE HABITABLE		4947.86 SF
DETACHED GARAGE		
1ST FLOOR - GARAGE	-	569.88 SF
TOTAL GARAGE		569.88 SF
LOT AREA		
LOT AREA	132.46' x 53.5' =	7086.61 SF
LOT COVERAGE	2366.35 SF (PRIMARY) + 284.94 SF (GARAGE W/50% CREDIT) = 2651.29 SF	(2651.29 SF / 7086.61 SF) = 37.41% COVERAGE

HICKS RESIDENCE RENOVATION

OWNER:
Joe Hicks
joehicksdenver@gmail.com
720.560.1211

DOCUMENT DATE:
March 30, 2021

DRAWN BY:
MB

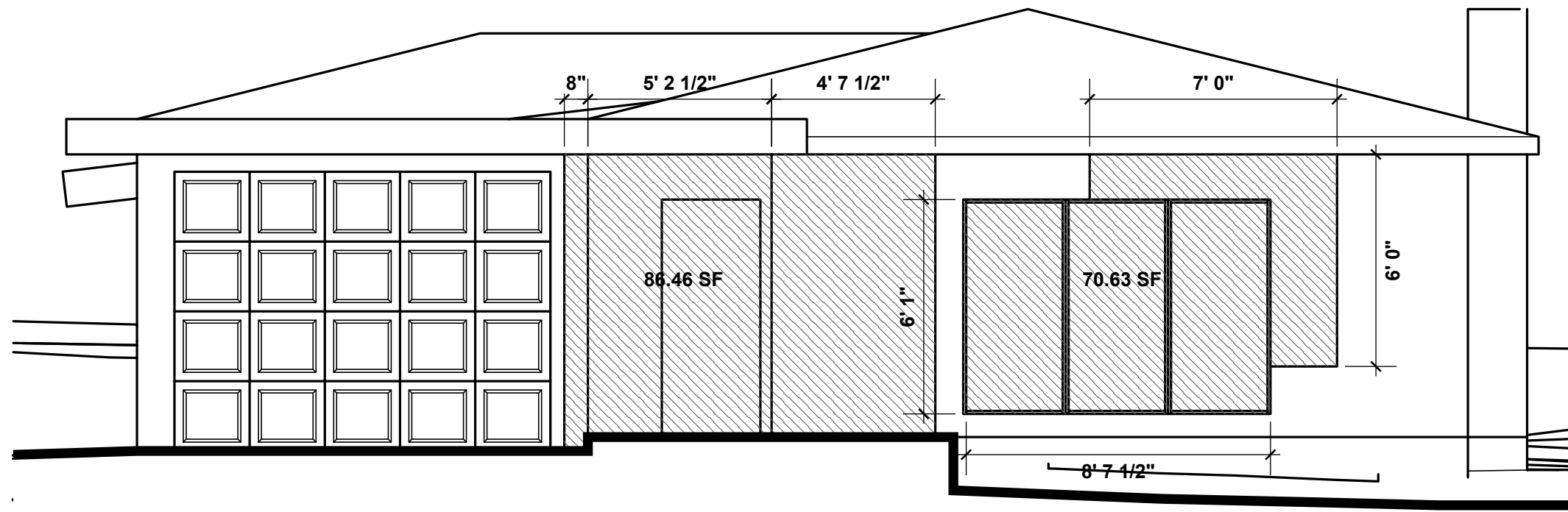
CHECKED BY:
MB

235 S. Ivy St. :: Denver, CO :: 80205

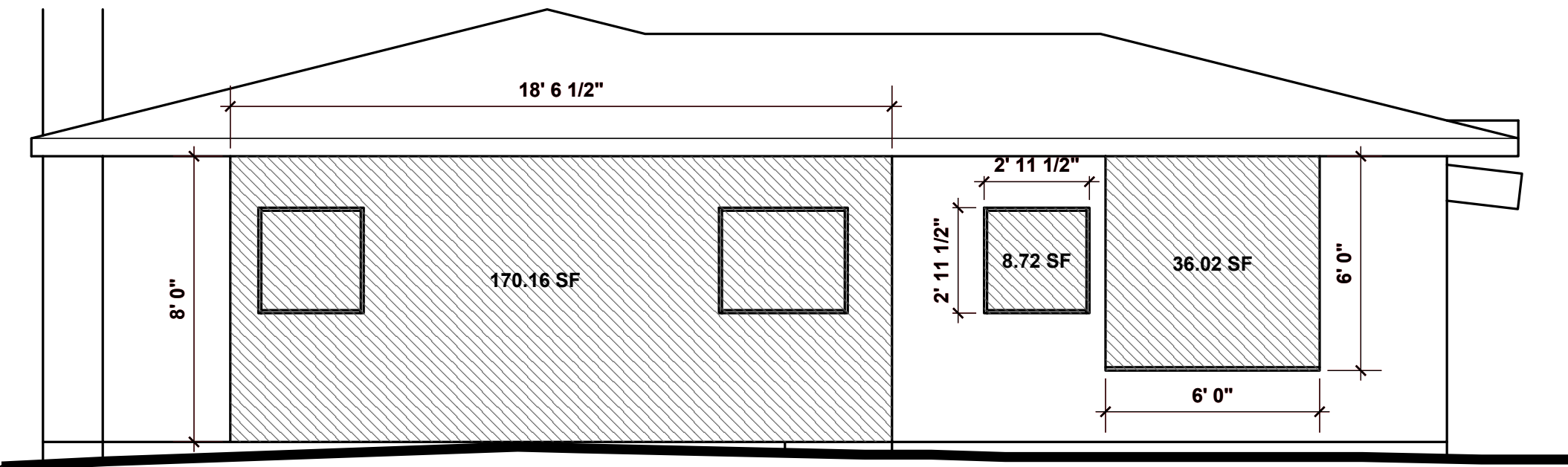
- REV 1 - SUDP COMMENTS 2020.12.07
- REV 2 - SUDP COMMENTS 2021.02.26
- FOR CONSTRUCTION

A1.01

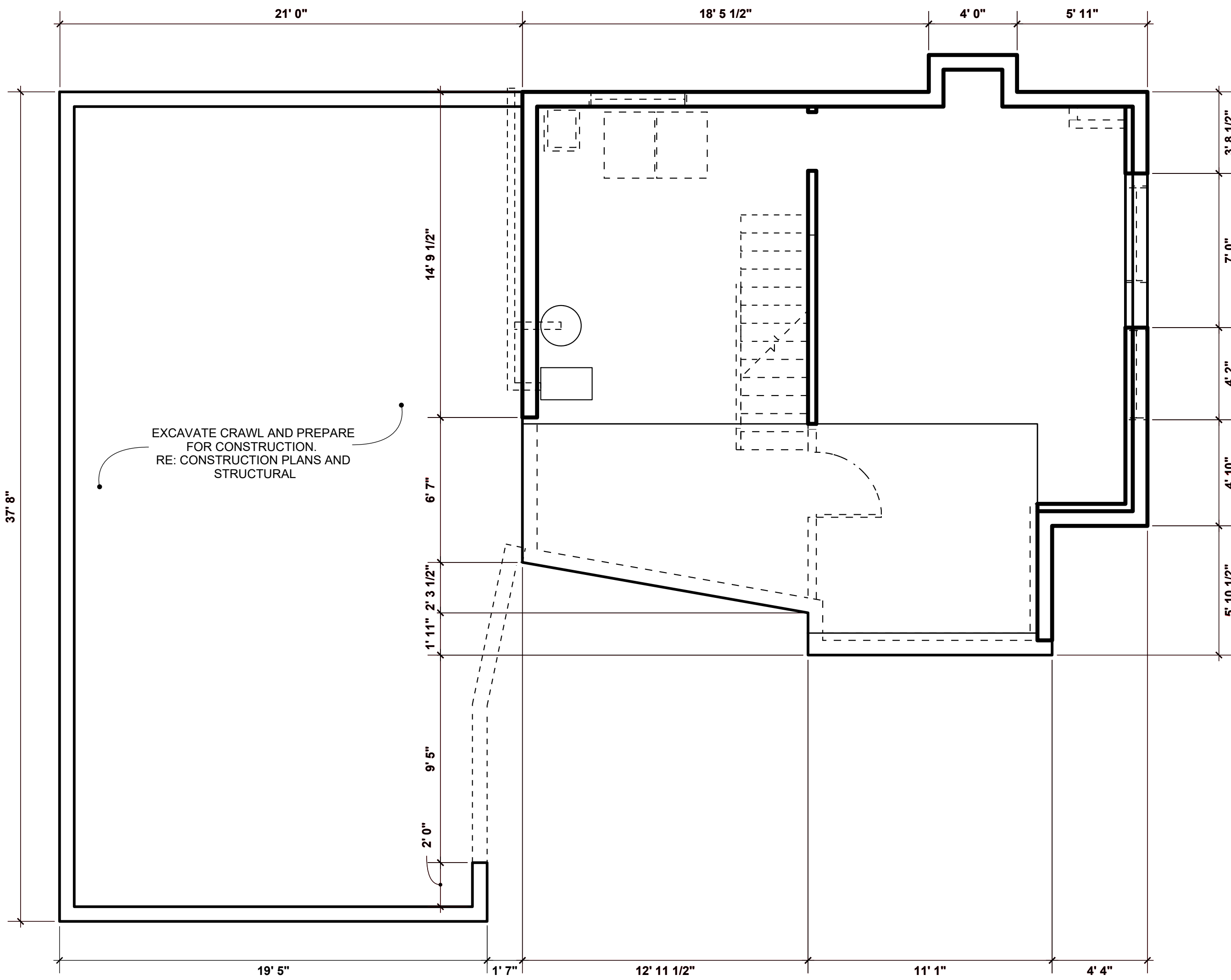
PROJECT INFORMATION



1 DEMOLITION ELEVATION - EAST
SCALE :: 1/4" = 1' - 0"



3 DEMOLITION ELEVATION - WEST
SCALE :: 1/4" = 1' - 0"

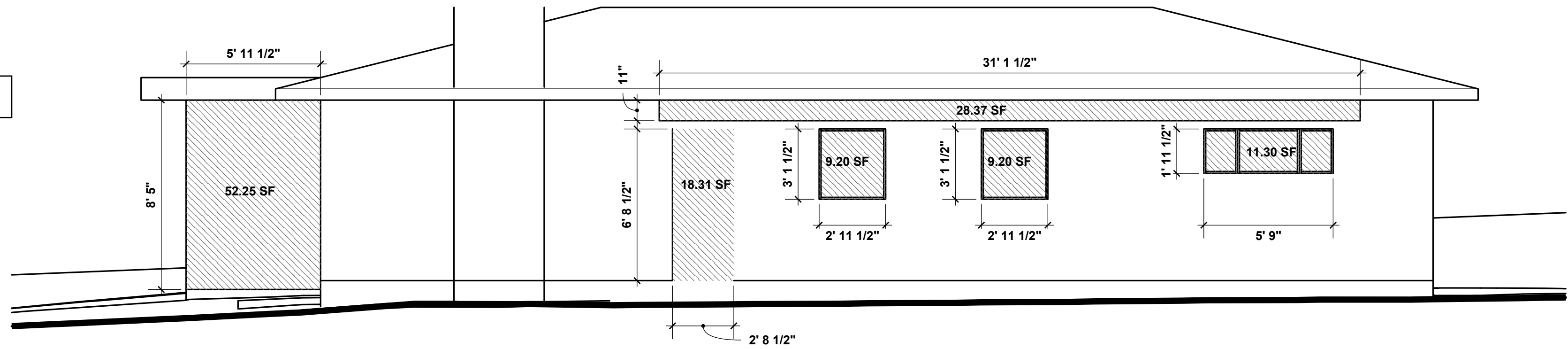


5 DEMOLITION PLAN - LEVEL 00
SCALE :: 1/4" = 1' - 0"

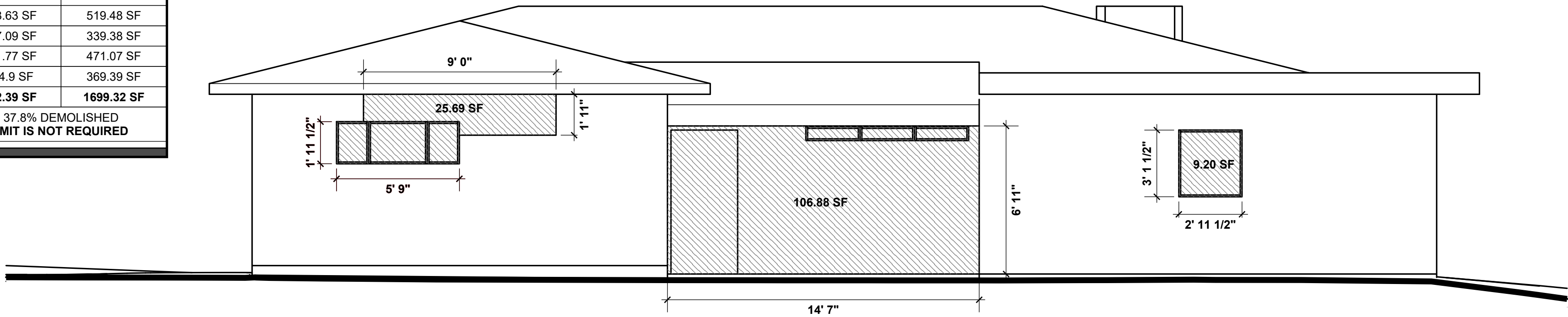
DRAWING KEY	
	DEMOLISH (PLAN)
	DEMOLISH (ELEVATION)
	EXISTING TO REMAIN

DEMOLITION CALCULATIONS		
ELEVATION	DEMOLISHED	TOTAL
NORTH	128.63 SF	519.48 SF
EAST	157.09 SF	339.38 SF
SOUTH	141.77 SF	471.07 SF
WEST	214.9 SF	369.39 SF
TOTAL	642.39 SF	1699.32 SF
642.39 SF / 1699.32 SF = 37.8% DEMOLISHED TOTAL DEMOLITION PERMIT IS NOT REQUIRED		

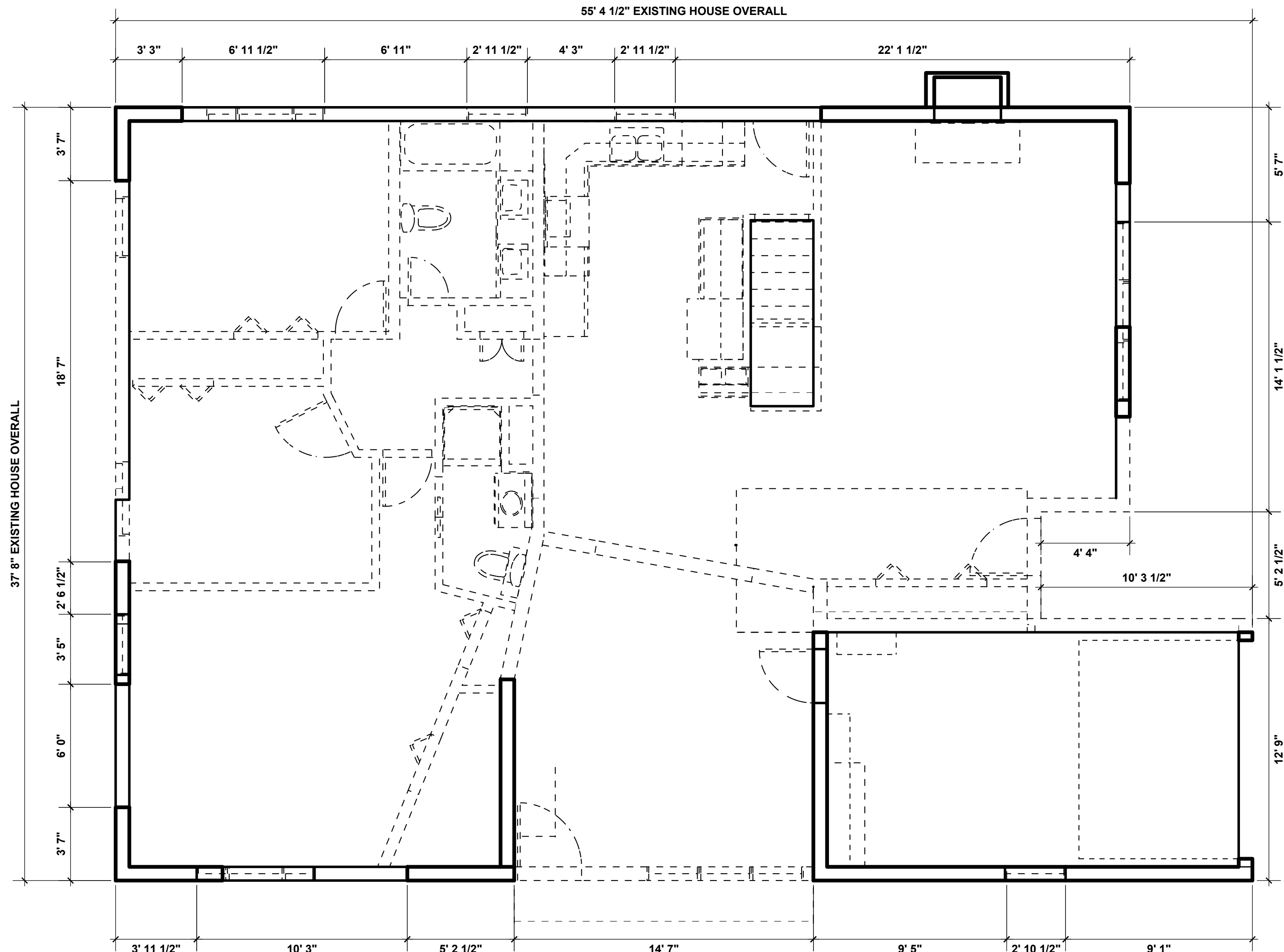
NOTE: DEMOLISH ALL EXISTING ROOFS



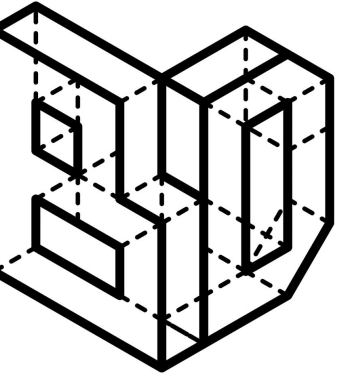
2 DEMOLITION ELEVATION - NORTH
SCALE :: 1/4" = 1' - 0"



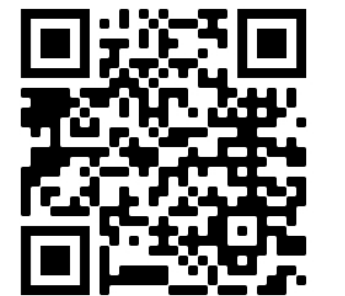
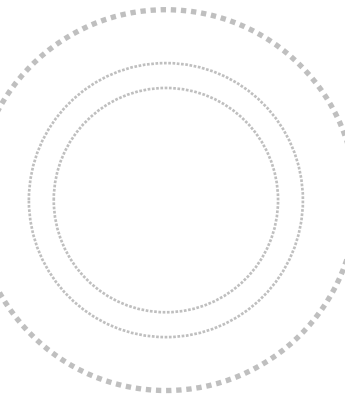
4 DEMOLITION ELEVATION - SOUTH
SCALE :: 1/4" = 1' - 0"



6 DEMOLITION PLAN - LEVEL 01
SCALE :: 1/4" = 1' - 0"



BRIGHTMAN DESIGNS
2417 E. 28th Ave.
Denver, CO 80205
720.443.3242
info@brightmandesigns.com



PROJECT INFO

HICKS RESIDENCE RENOVATION

OWNER:
Joe Hicks
joehicksdenver@gmail.com
720.560.1211

235 S. Ivy St. :: Denver, CO :: 80205
DRAWN BY: MB
CHECKED BY: MB
DOCUMENT DATE: March 30, 2021
DENVER LOG#: 2020-LOG-0009820

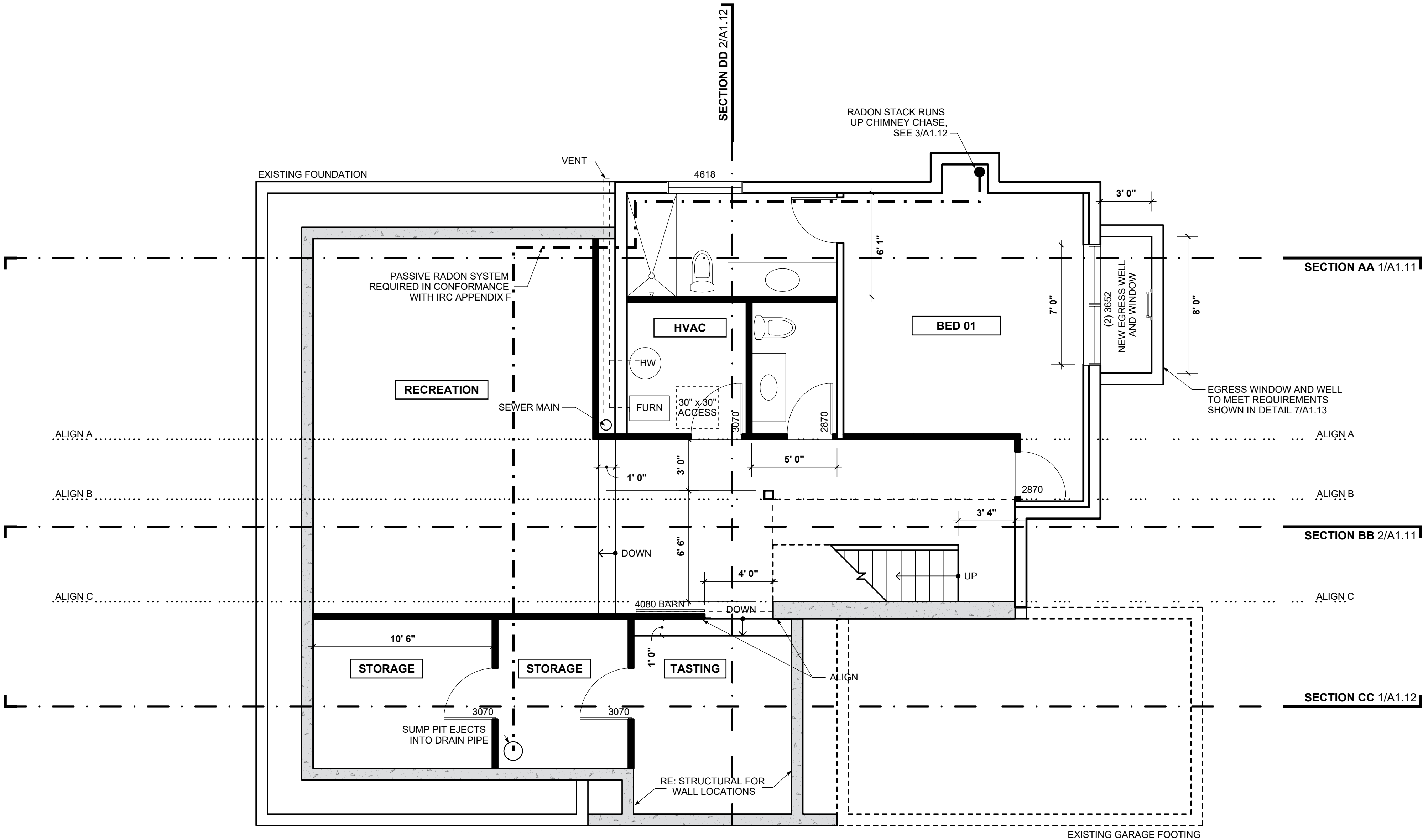
REV 1 - SUDP COMMENTS 2020.12.07
REV 2 - SUDP COMMENTS 2021.02.26
FOR CONSTRUCTION

A1.02

DEMOLITION

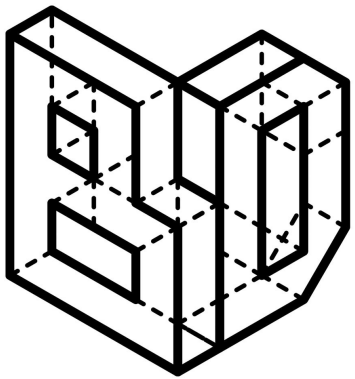
PLAN NOTES:

- DIMENSION STRINGS ARE TO EITHER EXISTING FINISHED SURFACE OR NEW FRAMING MEMBER (I.E. ROUGH OPENING, FACE OF WALL, STUD, POST, BOTTOM OF JOIST ETC. U.N.O.)
- VERIFY ALL DIMENSIONS IN FIELD
- VERIFY ALL INFILL WINDOW DIMENSIONS IN FIELD
- ALL FRAMED WALLS AT BASEMENT TO HAVE FLOATING BOTTOM PLATES
- WINDOW WELLS TO COMPLY WITH 2018 IRC R310.2.3 - PROVIDE SCREEN OR COVER PER 2018 IRC 310.4
- FIREBLOCKING REQUIRED PER IRC 2018 R302.11 AND R302.11.1
- DRAFTSTOPPING REQUIRED PER 2018 IRC R302.12
- METAL PANEL ROOF TO BE INSTALLED PER MANUFACTURER INSTRUCTION AND 2018 IRC R905.10
- INSTALL FLASHING PER 2018 IRC R903.2
- STAIRS AND RAILS TO COMPLY WITH 2018 IRC R311
- PROVIDE FLOOR TRANSITION STRIPS AT ALL SEAMS OF SIMILAR AND DISSIMILAR FINISHES
- CLASS I OR II VAPOR RETARDANT REQUIRED AT INTERIOR SIDE OF FRAME WALLS PER 2018 IRC R702.7
- ALL PIPING SERVING AS PART OF HEATING OR COOLING SYSTEM MUST BE THERMALLY INSULATED PER 2018 IECC TABLE C403.11.3
- BUILDING THERMAL ENVELOPE TO COMPLY WITH 2018 IECC TABLE R402.4.1.1
- PROVIDE FOUNDATION PERIMETER DRAIN PER PROJECT SOILS REPORT
- BUILDER TO VERIFY ALL DOWNSPOUT LOCATIONS, EXTERIOR MATERIALS, COLOR, AND THEIR LOCATIONS PRIOR TO INSTALLATION
- WATER HEATER TO BE NOT LESS THAN 90% THERMAL EFFICIENCY PER 2018 IECC C404
- CARBON MONOXIDE DETECTOR TO BE INSTALLED PER 2018 IRC R315 AND IN COMPLIANCE WITH UL 2034
- SMOKE ALARMS MUST BE INSTALLED PER 2018 IRC R314 AND IN COMPLIANCE WITH NFPA 72 AND UL 217
- SEAL ALL PENETRATIONS THROUGH BUILDING ENVELOPE PER 2018 IRC P2060.1
- SLOPE ALL GRADE AWAY FROM STRUCTURE
- ALL GLAZING IN EXTERIOR WLALS MUST BE MINIMUM U-FACTOR 0.30
- INSULATION SHALL NOT BLOCK FREE FLOW OF AIR, MINIMUM 1" BETWEEN ROOF SHEATHING AND INSULATION AT EAVE VENTS PER 2018 IRC R806.3
- METAL ROOF TO COMPLY WITH 2018 IRC R905.10, TABLE R905.1.1 UNDERLAYMENTS
- BUILDER TO VERIFY WITH OWNER PRIOR TO INSTALLATION:
 - ALL BATHROOM FINISHES AND FIXTURES
 - WET BAR, PANTRY, AND KITCHEN FINISHES
 - ALL CLOSET LAYOUTS
 - FIREPLACES AND SURROUNDS

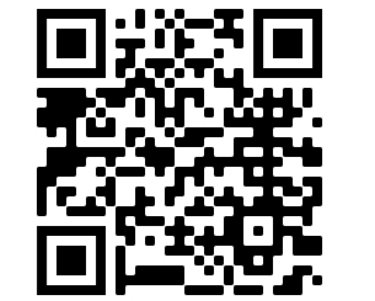
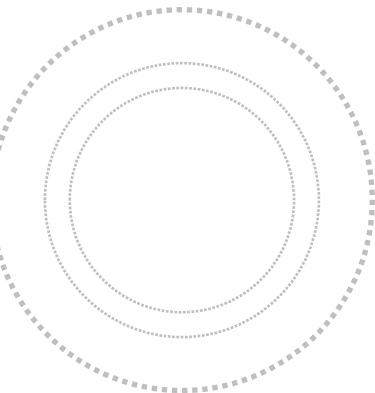


1 PLAN - LEVEL 00
SCALE :: 1/4" = 1' - 0"

WALL TYPE KEY	
	EXISTING WALL
	NEW STUD WALL
	NEW CONCRETE WALL



BRIGHTMAN DESIGNS
2417 E. 28th Ave.
Denver, CO 80205
720.443.3242
info@brightmandesigns.com



PROJECT INFO

HICKS RESIDENCE RENOVATION

OWNER: Joe Hicks
joehicksdenver@gmail.com
720.560.1211

235 S. Ivy St. :: Denver, CO :: 80205

DRAWN BY: MB

DOCUMENT DATE: March 30, 2021

CHECKED BY: MB

DENVER LOG#: 2020-LOG-0009820

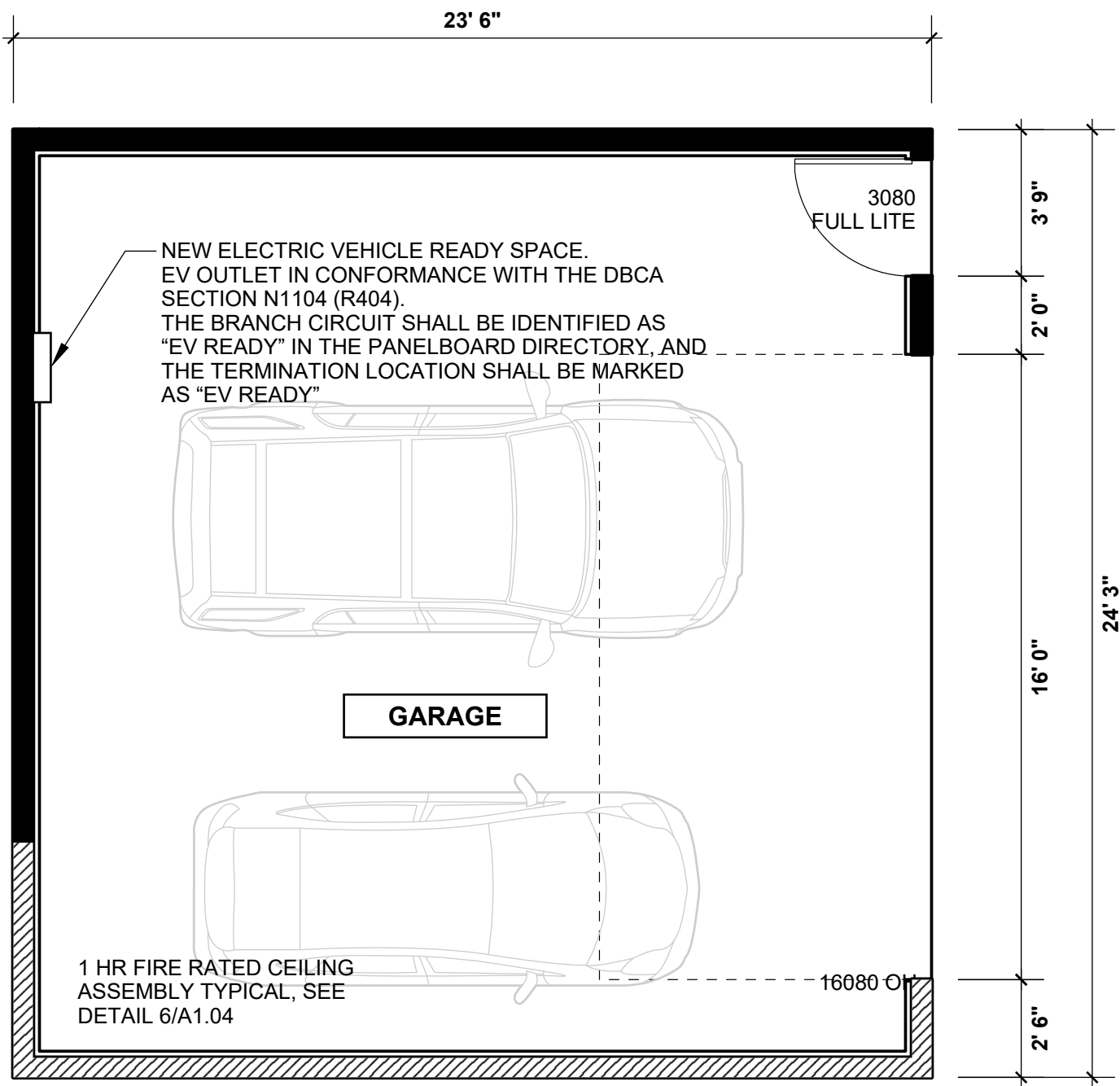
△	REV 1 - SUDP COMMENTS 2020.12.07
△	REV 2 - SUDP COMMENTS 2021.02.26
△	FOR CONSTRUCTION
△	
△	
△	

A1.03

CONSTRUCTION PLANS

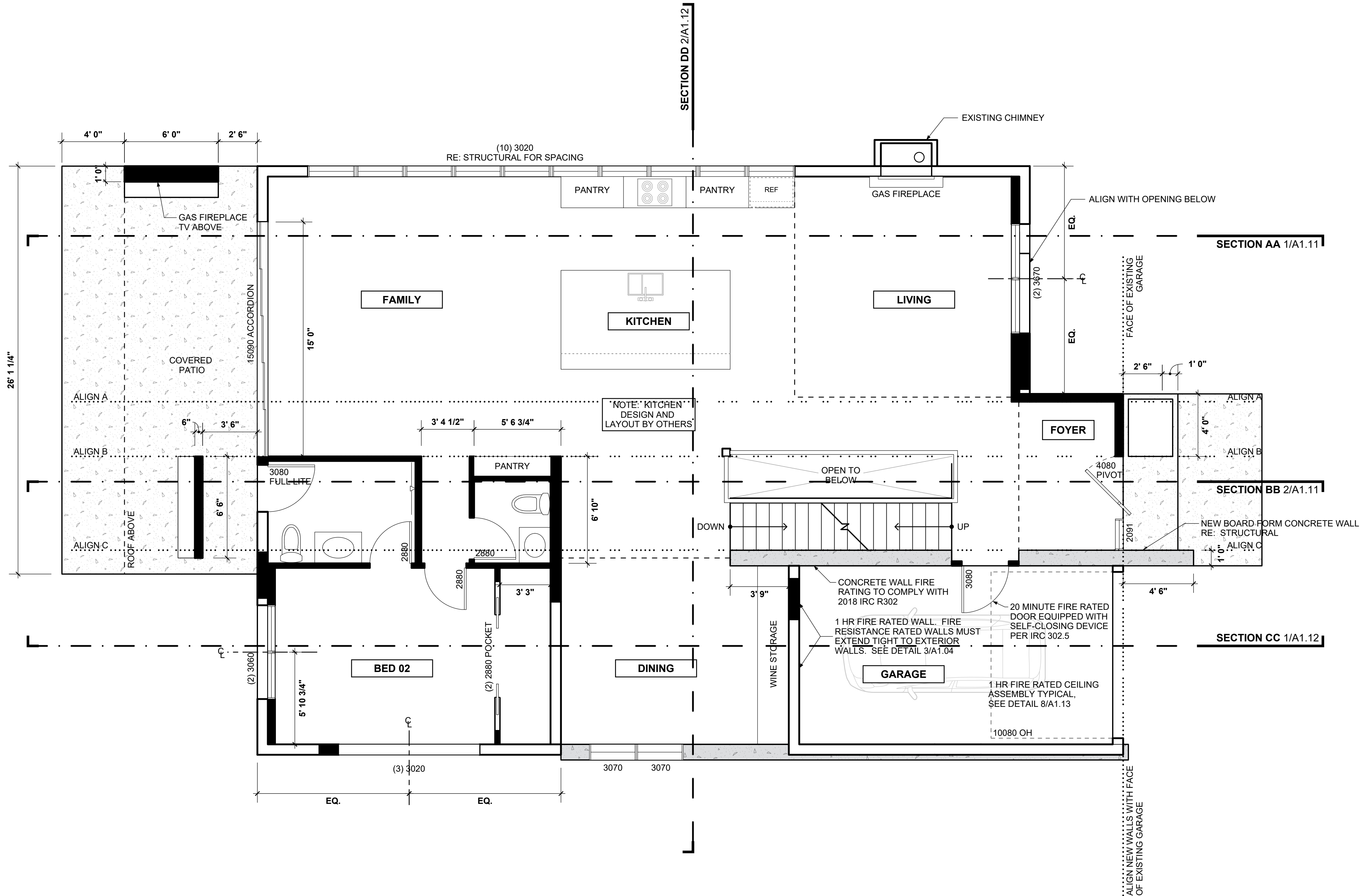
PLAN NOTES:

- DIMENSION STRINGS ARE TO EITHER EXISTING FINISHED SURFACE OR NEW FRAMING MEMBER (I.E. ROUGH OPENING, FACE OF WALL, STUD, POST, BOTTOM OF JOIST ETC. U.N.O.)
- VERIFY ALL DIMENSIONS IN FIELD
- VERIFY ALL INFILL WINDOW DIMENSIONS IN FIELD
- ALL FRAMED WALLS AT BASEMENT TO HAVE FLOATING BOTTOM PLATES
- WINDOW WELLS TO COMPLY WITH 2018 IRC R310.2.3 - PROVIDE SCREEN OR COVER PER 2018 IRC 310.4
- FIREBLOCKING REQUIRED PER IRC 2018 R302.11 AND R302.11.1
- DRAFTSTOPPING REQUIRED PER 2018 IRC R302.12
- METAL PANEL ROOF TO BE INSTALLED PER MANUFACTURER INSTRUCTION AND 2018 IRC R905.10
- INSTALL FLASHING PER 2018 IRC R903.2
- STAIRS AND RAILS TO COMPLY WITH 2018 IRC R311
- PROVIDE FLOOR TRANSITION STRIPS AT ALL SEAMS OF SIMILAR AND DISSIMILAR FINISHES
- CLASS I OR II VAPOR RETARDANT REQUIRED AT INTERIOR SIDE OF FRAME WALLS PER 2018 IRC R702.7
- ALL PIPING SERVING AS PART OF HEATING OR COOLING SYSTEM MUST BE THERMALLY INSULATED PER 2018 IECC TABLE C403.11.3
- BUILDING THERMAL ENVELOPE TO COMPLY WITH 2018 IECC TABLE R402.4.1.1
- PROVIDE FOUNDATION PERIMETER DRAIN PER PROJECT SOILS REPORT
- BUILDER TO VERIFY ALL DOWNSPOUT LOCATIONS, EXTERIOR MATERIALS, COLOR, AND THEIR LOCATIONS PRIOR TO INSTALLATION
- WATER HEATER TO BE NOT LESS THAN 90% THERMAL EFFICIENCY PER 2018 IECC C404
- CARBON MONOXIDE DETECTOR TO BE INSTALLED PER 2018 IRC R315 AND IN COMPLIANCE WITH UL 2034
- SMOKE ALARMS MUST BE INSTALLED PER 2018 IRC R314 AND IN COMPLIANCE WITH NFPA 72 AND UL 217
- SEAL ALL PENETRATIONS THROUGH BUILDING ENVELOPE PER 2018 IRC P2060.1
- SLOPE ALL GRADE AWAY FROM STRUCTURE
- ALL GLAZING IN EXTERIOR WLALS MUST BE MINIMUM U-FACTOR 0.30
- INSULATION SHALL NOT BLOCK FREE FLOW OF AIR, MINIMUM 1" BETWEEN ROOF SHEATHING AND INSULATION AT EAVE VENTS PER 2018 IRC R806.3
- METAL ROOF TO COMPLY WITH 2018 IRC R905.10, TABLE R905.1.1 UNDERLAYMENTS
- BUILDER TO VERIFY WITH OWNER PRIOR TO INSTALLATION:
 - ALL BATHROOM FINISHES AND FIXTURES
 - WET BAR, PANTRY, AND KITCHEN FINISHES
 - ALL CLOSET LAYOUTS
 - FIREPLACES AND SURROUNDS



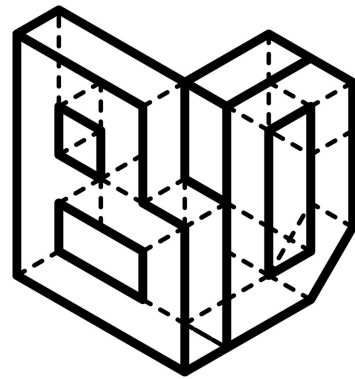
1 GARAGE PLAN - LEVEL 01
SCALE :: 1/4" = 1' - 0"

1 HR FIRE RATED WALLS REQ'D AT GARAGE WALLS WITHIN 5' OF PROPERTY LINE. FIRE RESISTANCE RATED WALLS MUST EXTEND TIGHT TO EXTERIOR WALLS. SEE DETAIL 4/A1.04.

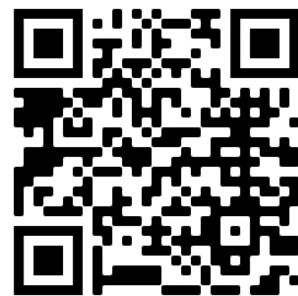
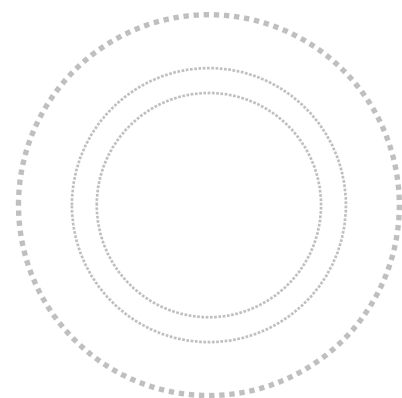


2 HOUSE PLAN - LEVEL 01
SCALE :: 1/4" = 1' - 0"

WALL TYPE KEY	
	EXISTING WALL
	NEW STUD WALL
	NEW CONCRETE WALL



BRIGHTMAN DESIGNS
2417 E. 28th Ave.
Denver, CO 80205
720.443.3242
info@brightmandesigns.com



PROJECT INFO

HICKS RESIDENCE RENOVATION

235 S. Ivy St. :: Denver, CO :: 80205

OWNER:
Joe Hicks
joehicksdenver@gmail.com
720.560.1211

DRAWN BY:
MB

DOCUMENT DATE:
March 30, 2021

CHECKED BY:
MB

DENVER LOG#:
2020-LOG-0009820

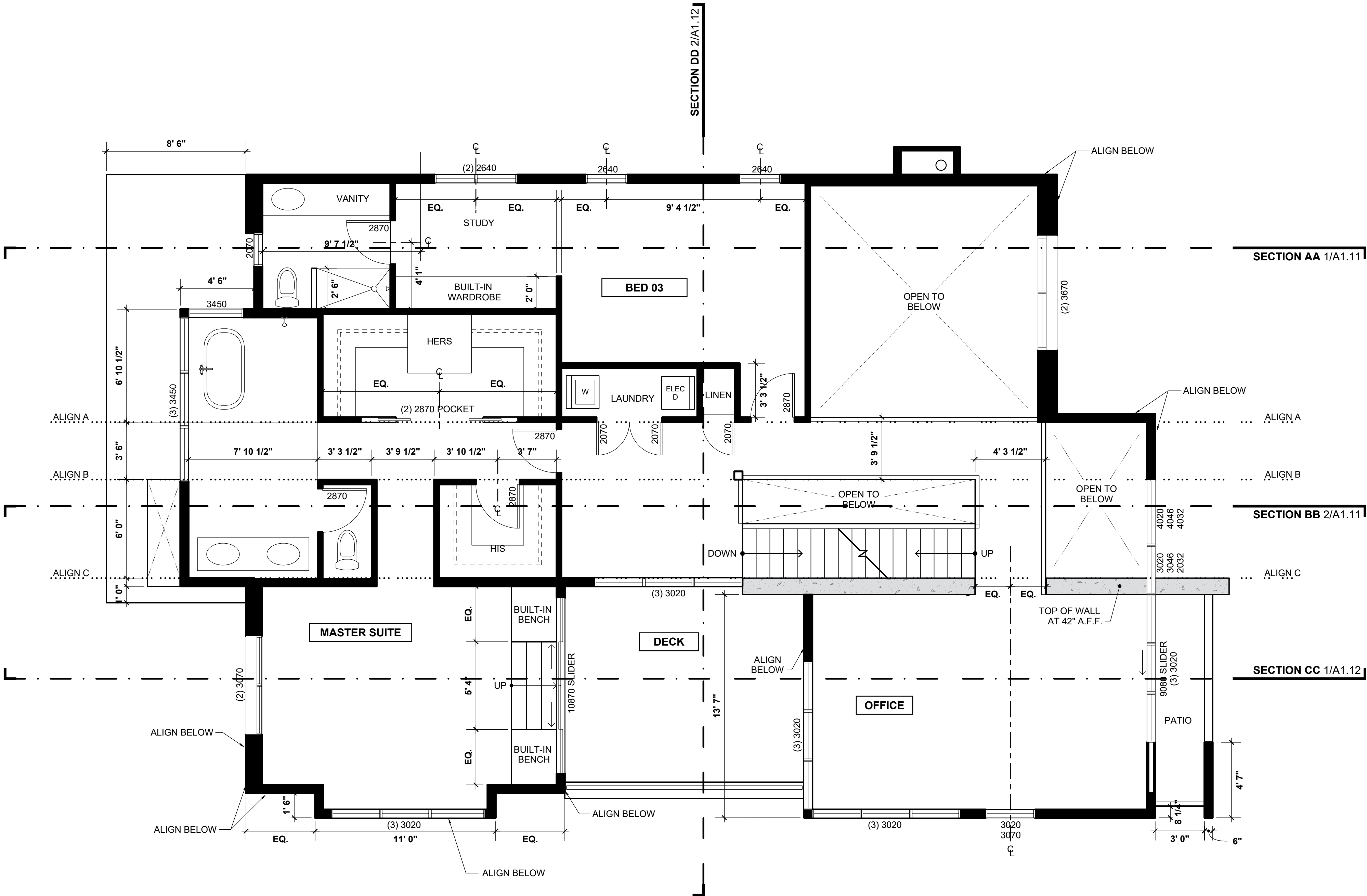
- △ REV 1 - SUDP COMMENTS 2020.12.07
- △ REV 2 - SUDP COMMENTS 2021.02.26
- △ FOR CONSTRUCTION
- △
- △
- △

A1.04

CONSTRUCTION PLANS

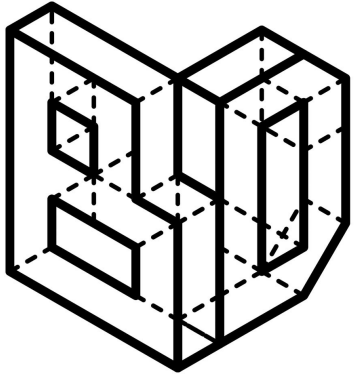
PLAN NOTES:

- DIMENSION STRINGS ARE TO EITHER EXISTING FINISHED SURFACE OR NEW FRAMING MEMBER (I.E. ROUGH OPENING, FACE OF WALL, STUD, POST, BOTTOM OF JOIST ETC. U.N.O.)
- VERIFY ALL DIMENSIONS IN FIELD
- VERIFY ALL INFILL WINDOW DIMENSIONS IN FIELD
- ALL FRAMED WALLS AT BASEMENT TO HAVE FLOATING BOTTOM PLATES
- WINDOW WELLS TO COMPLY WITH 2018 IRC R310.2.3 - PROVIDE SCREEN OR COVER PER 2018 IRC 310.4
- FIREBLOCKING REQUIRED PER IRC 2018 R302.11 AND R302.11.1
- DRAFTSTOPPING REQUIRED PER 2018 IRC R302.12
- METAL PANEL ROOF TO BE INSTALLED PER MANUFACTURER INSTRUCTION AND 2018 IRC R905.10
- INSTALL FLASHING PER 2018 IRC R903.2
- STAIRS AND RAILS TO COMPLY WITH 2018 IRC R311
- PROVIDE FLOOR TRANSITION STRIPS AT ALL SEAMS OF SIMILAR AND DISSIMILAR FINISHES
- CLASS I OR II VAPOR RETARDANT REQUIRED AT INTERIOR SIDE OF FRAME WALLS PER 2018 IRC R702.7
- ALL PIPING SERVING AS PART OF HEATING OR COOLING SYSTEM MUST BE THERMALLY INSULATED PER 2018 IECC TABLE C403.11.3
- BUILDING THERMAL ENVELOPE TO COMPLY WITH 2018 IECC TABLE R402.4.1.1
- PROVIDE FOUNDATION PERIMETER DRAIN PER PROJECT SOILS REPORT
- BUILDER TO VERIFY ALL DOWNSPOUT LOCATIONS, EXTERIOR MATERIALS, COLOR, AND THEIR LOCATIONS PRIOR TO INSTALLATION
- WATER HEATER TO BE NOT LESS THAN 90% THERMAL EFFICIENCY PER 2018 IECC C404
- CARBON MONOXIDE DETECTOR TO BE INSTALLED PER 2018 IRC R315 AND IN COMPLIANCE WITH UL 2034
- SMOKE ALARMS MUST BE INSTALLED PER 2018 IRC R314 AND IN COMPLIANCE WITH NFPA 72 AND UL 217
- SEAL ALL PENETRATIONS THROUGH BUILDING ENVELOPE PER 2018 IRC P2060.1
- SLOPE ALL GRADE AWAY FROM STRUCTURE
- ALL GLAZING IN EXTERIOR WLALS MUST BE MINIMUM U-FACTOR 0.30
- INSULATION SHALL NOT BLOCK FREE FLOW OF AIR, MINIMUM 1" BETWEEN ROOF SHEATHING AND INSULATION AT EAVE VENTS PER 2018 IRC R806.3
- METAL ROOF TO COMPLY WITH 2018 IRC R905.10, TABLE R905.1.1 UNDERLAYMENTS
- BUILDER TO VERIFY WITH OWNER PRIOR TO INSTALLATION:
 - ALL BATHROOM FINISHES AND FIXTURES
 - WET BAR, PANTRY, AND KITCHEN FINISHES
 - ALL CLOSET LAYOUTS
 - FIREPLACES AND SURROUNDS

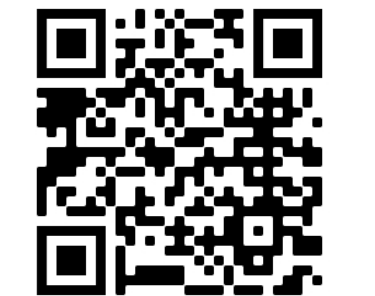
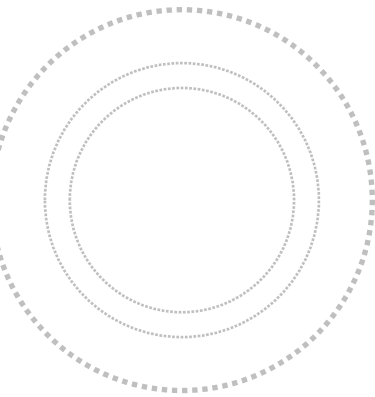


1 HOUSE PLAN - LEVEL 02
SCALE :: 1/4" = 1' - 0"

WALL TYPE KEY	
	EXISTING WALL
	NEW STUD WALL
	NEW CONCRETE WALL



BRIGHTMAN DESIGNS
2417 E. 28th Ave.
Denver, CO 80205
720.443.3242
info@brightmandesigns.com



PROJECT INFO

HICKS RESIDENCE RENOVATION

OWNER: Joe Hicks
joehicksdenver@gmail.com
720.560.1211

DRAWN BY: MB

CHECKED BY: MB

DOCUMENT DATE: March 30, 2021

DENVER LOG#: 2020-LOG-0009820

235 S. Ivy St. :: Denver, CO :: 80205

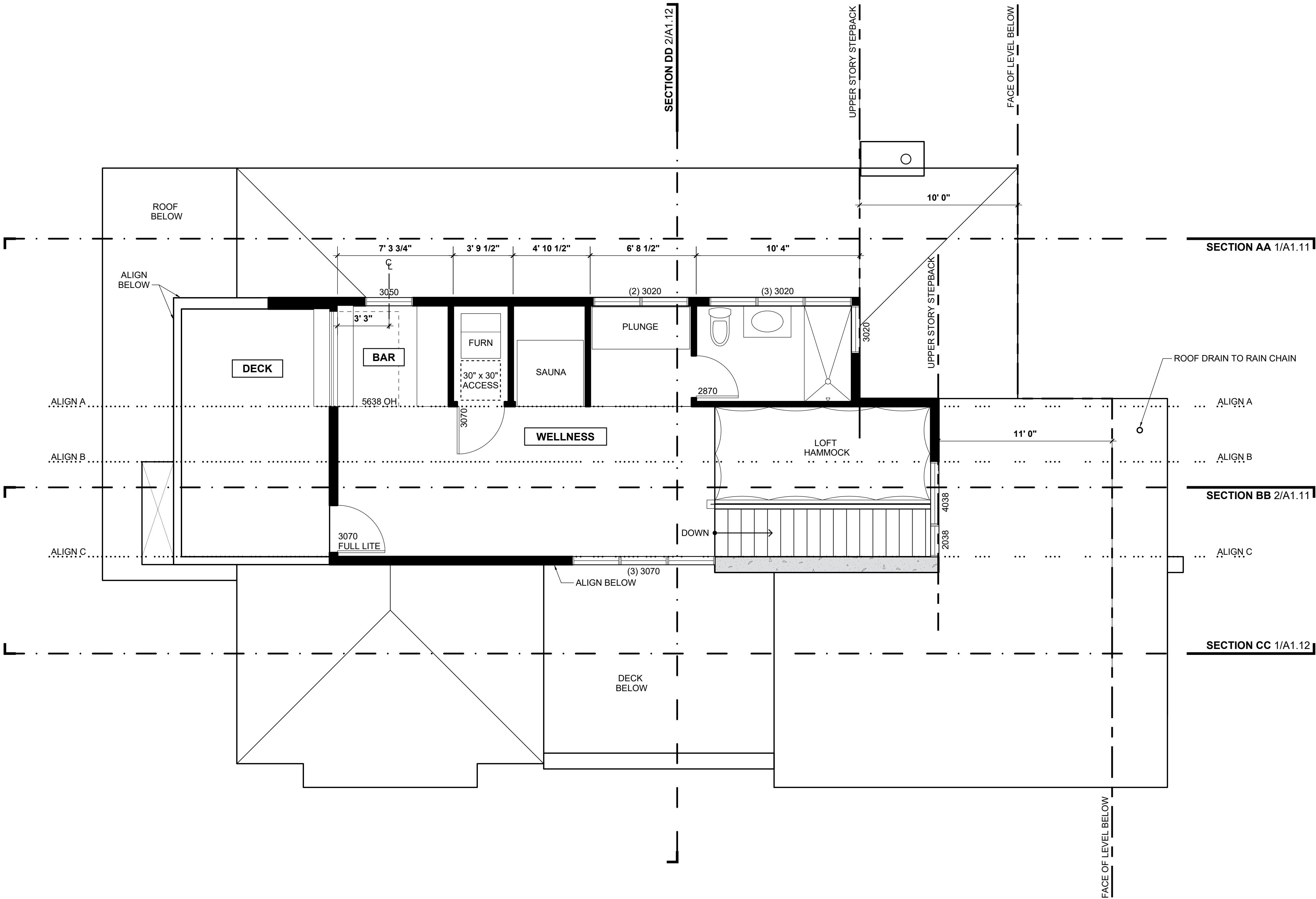
- △ REV 1 - SUDP COMMENTS 2020.12.07
- △ REV 2 - SUDP COMMENTS 2021.02.26
- △ FOR CONSTRUCTION
- △
- △
- △

A1.05

CONSTRUCTION PLANS

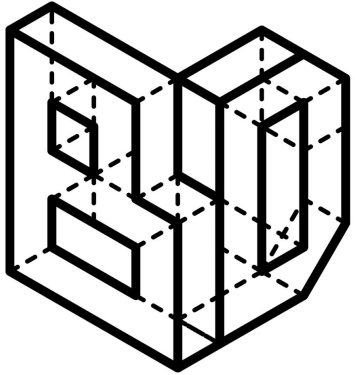
PLAN NOTES:

- DIMENSION STRINGS ARE TO EITHER EXISTING FINISHED SURFACE OR NEW FRAMING MEMBER (I.E. ROUGH OPENING, FACE OF WALL, STUD, POST, BOTTOM OF JOIST ETC. U.N.O.)
- VERIFY ALL DIMENSIONS IN FIELD
- VERIFY ALL INFILL WINDOW DIMENSIONS IN FIELD
- ALL FRAMED WALLS AT BASEMENT TO HAVE FLOATING BOTTOM PLATES
- WINDOW WELLS TO COMPLY WITH 2018 IRC R310.2.3 - PROVIDE SCREEN OR COVER PER 2018 IRC 310.4
- FIREBLOCKING REQUIRED PER IRC 2018 R302.11 AND R302.11.1
- DRAFTSTOPPING REQUIRED PER 2018 IRC R302.12
- METAL PANEL ROOF TO BE INSTALLED PER MANUFACTURER INSTRUCTION AND 2018 IRC R905.10
- INSTALL FLASHING PER 2018 IRC R903.2
- STAIRS AND RAILS TO COMPLY WITH 2018 IRC R311
- PROVIDE FLOOR TRANSITION STRIPS AT ALL SEAMS OF SIMILAR AND DISSIMILAR FINISHES
- CLASS I OR II VAPOR RETARDANT REQUIRED AT INTERIOR SIDE OF FRAME WALLS PER 2018 IRC R702.7
- ALL PIPING SERVING AS PART OF HEATING OR COOLING SYSTEM MUST BE THERMALLY INSULATED PER 2018 IECC TABLE C403.11.3
- BUILDING THERMAL ENVELOPE TO COMPLY WITH 2018 IECC TABLE R402.4.1.1
- PROVIDE FOUNDATION PERIMETER DRAIN PER PROJECT SOILS REPORT
- BUILDER TO VERIFY ALL DOWNSPOUT LOCATIONS, EXTERIOR MATERIALS, COLOR, AND THEIR LOCATIONS PRIOR TO INSTALLATION
- WATER HEATER TO BE NOT LESS THAN 90% THERMAL EFFICIENCY PER 2018 IECC C404
- CARBON MONOXIDE DETECTOR TO BE INSTALLED PER 2018 IRC R315 AND IN COMPLIANCE WITH UL 2034
- SMOKE ALARMS MUST BE INSTALLED PER 2018 IRC R314 AND IN COMPLIANCE WITH NFPA 72 AND UL 217
- SEAL ALL PENETRATIONS THROUGH BUILDING ENVELOPE PER 2018 IRC P2060.1
- SLOPE ALL GRADE AWAY FROM STRUCTURE
- ALL GLAZING IN EXTERIOR WLALS MUST BE MINIMUM U-FACTOR 0.30
- INSULATION SHALL NOT BLOCK FREE FLOW OF AIR, MINIMUM 1" BETWEEN ROOF SHEATHING AND INSULATION AT EAVE VENTS PER 2018 IRC R806.3
- METAL ROOF TO COMPLY WITH 2018 IRC R905.10, TABLE R905.1.1 UNDERLAYMENTS
- BUILDER TO VERIFY WITH OWNER PRIOR TO INSTALLATION:
 - ALL BATHROOM FINISHES AND FIXTURES
 - WET BAR, PANTRY, AND KITCHEN FINISHES
 - ALL CLOSET LAYOUTS
 - FIREPLACES AND SURROUNDS

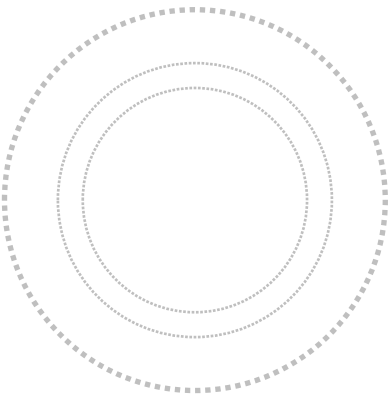


1 HOUSE PLAN - LEVEL 03
SCALE :: 1/4" = 1' - 0"

WALL TYPE KEY	
	EXISTING WALL
	NEW STUD WALL
	NEW CONCRETE WALL



BRIGHTMAN DESIGNS
2417 E. 28th Ave.
Denver, CO 80205
720.443.3242
info@brightmandesigns.com



PROJECT INFO

HICKS RESIDENCE RENOVATION

235 S. Ivy St. :: Denver, CO :: 80205

OWNER:
Joe Hicks
joehicksdenver@gmail.com
720.560.1211

DOCUMENT DATE:
March 30, 2021

DRAWN BY:
MB

DENVER LOG#:
2020-LOG-0009820

CHECKED BY:
MB

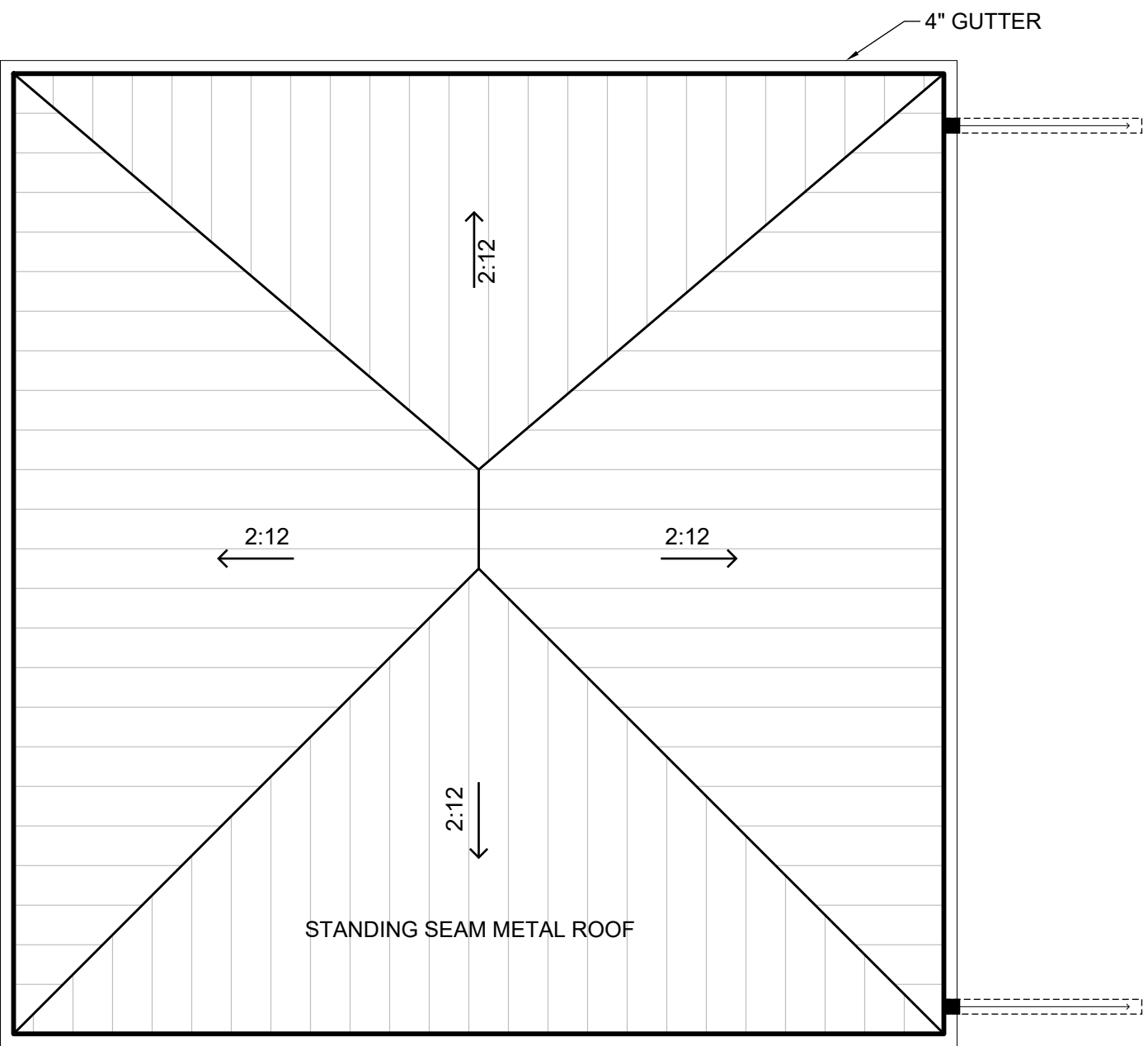
- REV 1 - SUDP COMMENTS 2020.12.07
- REV 2 - SUDP COMMENTS 2021.02.26
- FOR CONSTRUCTION

A1.06

CONSTRUCTION PLANS

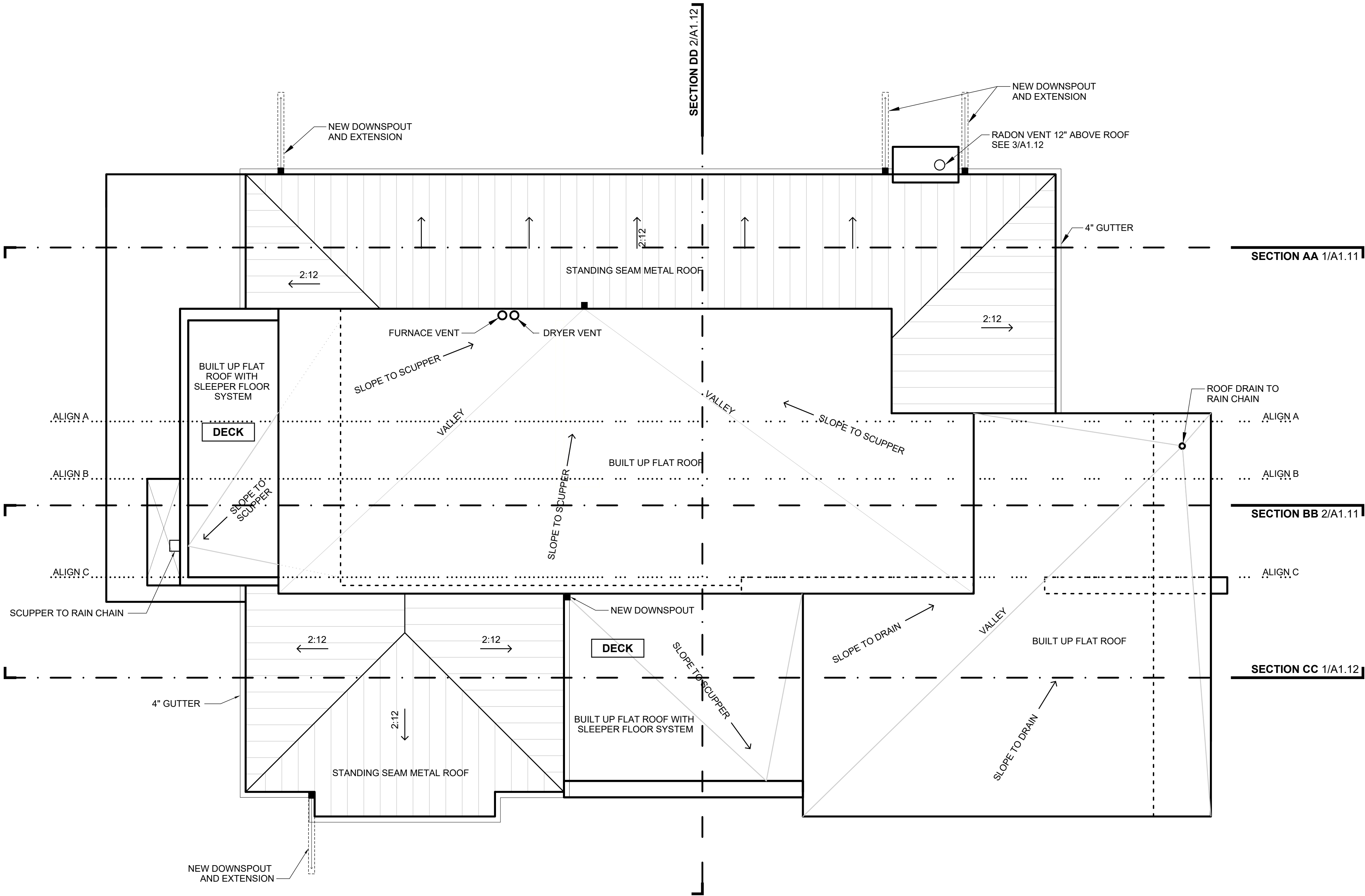
PLAN NOTES:

- DIMENSION STRINGS ARE TO EITHER EXISTING FINISHED SURFACE OR NEW FRAMING MEMBER (I.E. ROUGH OPENING, FACE OF WALL,STUD,POST, BOTTOM OF JOIST ETC. U.N.O.)
- VERIFY ALL DIMENSIONS IN FIELD
- VERIFY ALL INFILL WINDOW DIMENSIONS IN FIELD
- ALL FRAMED WALLS AT BASEMENT TO HAVE FLOATING BOTTOM PLATES
- WINDOW WELLS TO COMPLY WITH 2018 IRC R310.2.3 - PROVIDE SCREEN OR COVER PER 2018 IRC 310.4
- FIREBLOCKING REQUIRED PER IRC 2018 R302.11 AND R302.11.1
- DRAFTSTOPPING REQUIRED PER 2018 IRC R302.12
- METAL PANEL ROOF TO BE INSTALLED PER MANUFACTURER INSTRUCTION AND 2018 IRC R905.10
- INSTALL FLASHING PER 2018 IRC R903.2
- STAIRS AND RAILS TO COMPLY WITH 2018 IRC R311
- PROVIDE FLOOR TRANSITION STRIPS AT ALL SEAMS OF SIMILAR AND DISSIMILAR FINISHES
- CLASS I OR II VAPOR RETARDANT REQUIRED AT INTERIOR SIDE OF FRAME WALLS PER 2018 IRC R702.7
- ALL PIPING SERVING AS PART OF HEATING OR COOLING SYSTEM MUST BE THERMALLY INSULATED PER 2018 IECC TABLE C403.11.3
- BUILDING THERMAL ENVELOPE TO COMPLY WITH 2018 IECC TABLE R402.4.1.1
- PROVIDE FOUNDATION PERIMETER DRAIN PER PROJECT SOILS REPORT
- BUILDER TO VERIFY ALL DOWNSPOUT LOCATIONS, EXTERIOR MATERIALS, COLOR, AND THEIR LOCATIONS PRIOR TO INSTALLATION
- WATER HEATER TO BE NOT LESS THAN 90% THERMAL EFFICIENCY PER 2018 IECC C404
- CARBON MONOXIDE DETECTOR TO BE INSTALLED PER 2018 IRC R315 AND IN COMPLIANCE WITH UL 2034
- SMOKE ALARMS MUST BE INSTALLED PER 2018 IRC R314 AND IN COMPLIANCE WITH NFPA 72 AND UL 217
- SEAL ALL PENETRATIONS THROUGH BUILDING ENVELOPE PER 2018 IRC P2060.1
- SLOPE ALL GRADE AWAY FROM STRUCTURE
- ALL GLAZING IN EXTERIOR WLALS MUST BE MINIMUM U-FACTOR 0.30
- INSULATION SHALL NOT BLOCK FREE FLOW OF AIR, MINIMUM 1" BETWEEN ROOF SHEATHING AND INSULATION AT EAVE VENTS PER 2018 IRC R806.3
- METAL ROOF TO COMPLY WITH 2018 IRC R905.10, TABLE R905.1.1 UNDERLAYMENTS
- BUILDER TO VERIFY WITH OWNER PRIOR TO INSTALLATION:
 - ALL BATHROOM FINISHES AND FIXTURES
 - WET BAR, PANTRY, AND KITCHEN FINISHES
 - ALL CLOSET LAYOUTS
 - FIREPLACES AND SURROUNDS



1 GARAGE PLAN - ROOF

SCALE :: 1/4" = 1' - 0"



2 HOUSE PLAN - ROOF

SCALE :: 1/4" = 1' - 0"

WALL TYPE KEY	
	EXISTING WALL
	NEW STUD WALL
	NEW CONCRETE WALL

HICKS RESIDENCE RENOVATION

235 S. Ivy St. :: Denver, CO :: 80205

OWNER:
Joe Hicks
joehicksdenver@gmail.com
720.560.1211

DRAWN BY:
MB

DOCUMENT DATE:
March 30, 2021

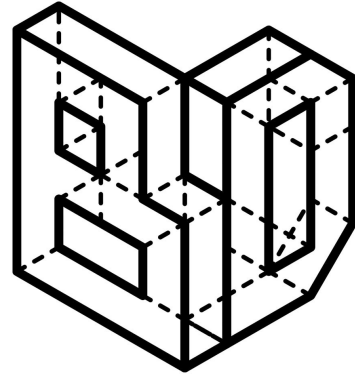
CHECKED BY:
MB

DENVER LOG#:
2020-LOG-0009820

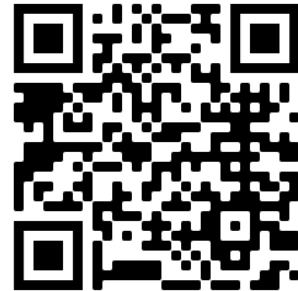
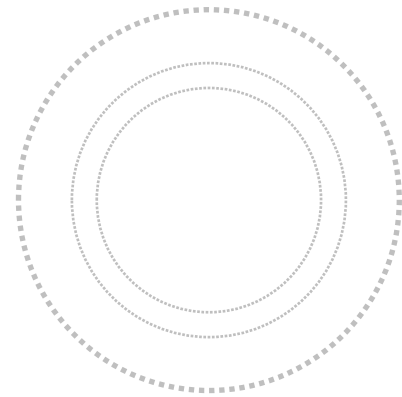
- △ REV 1 - SUDP COMMENTS 2020.12.07
- △ REV 2 - SUDP COMMENTS 2021.02.26
- △ FOR CONSTRUCTION
- △
- △
- △

A1.07

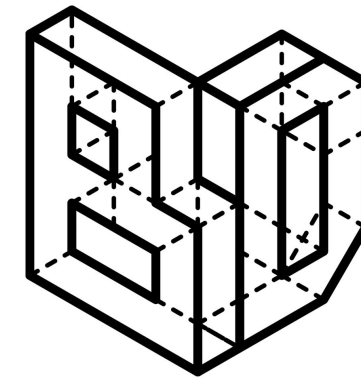
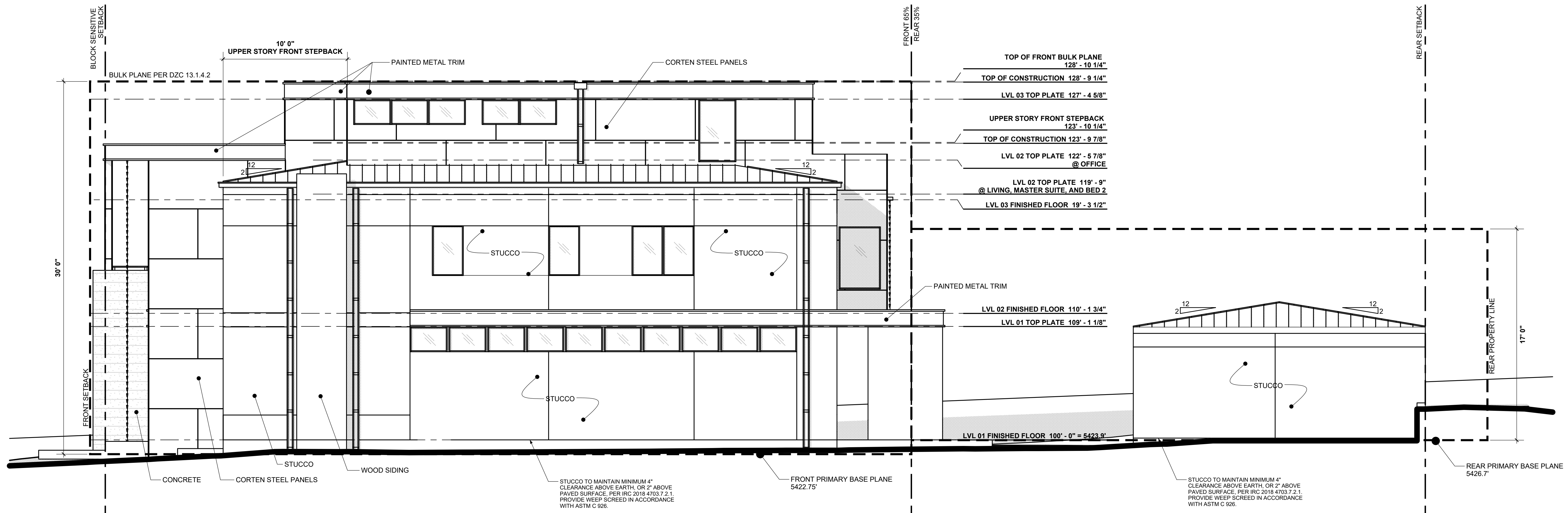
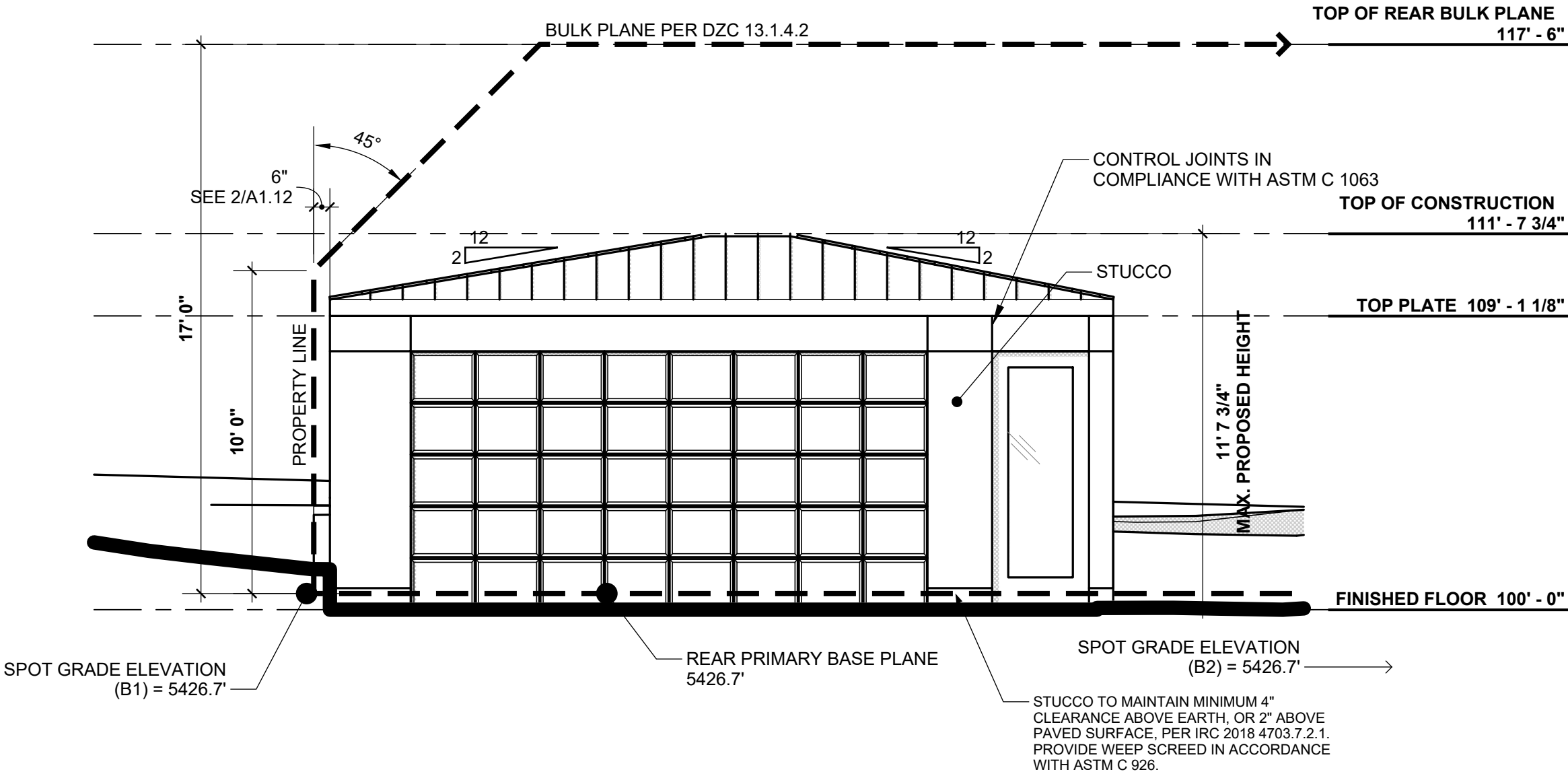
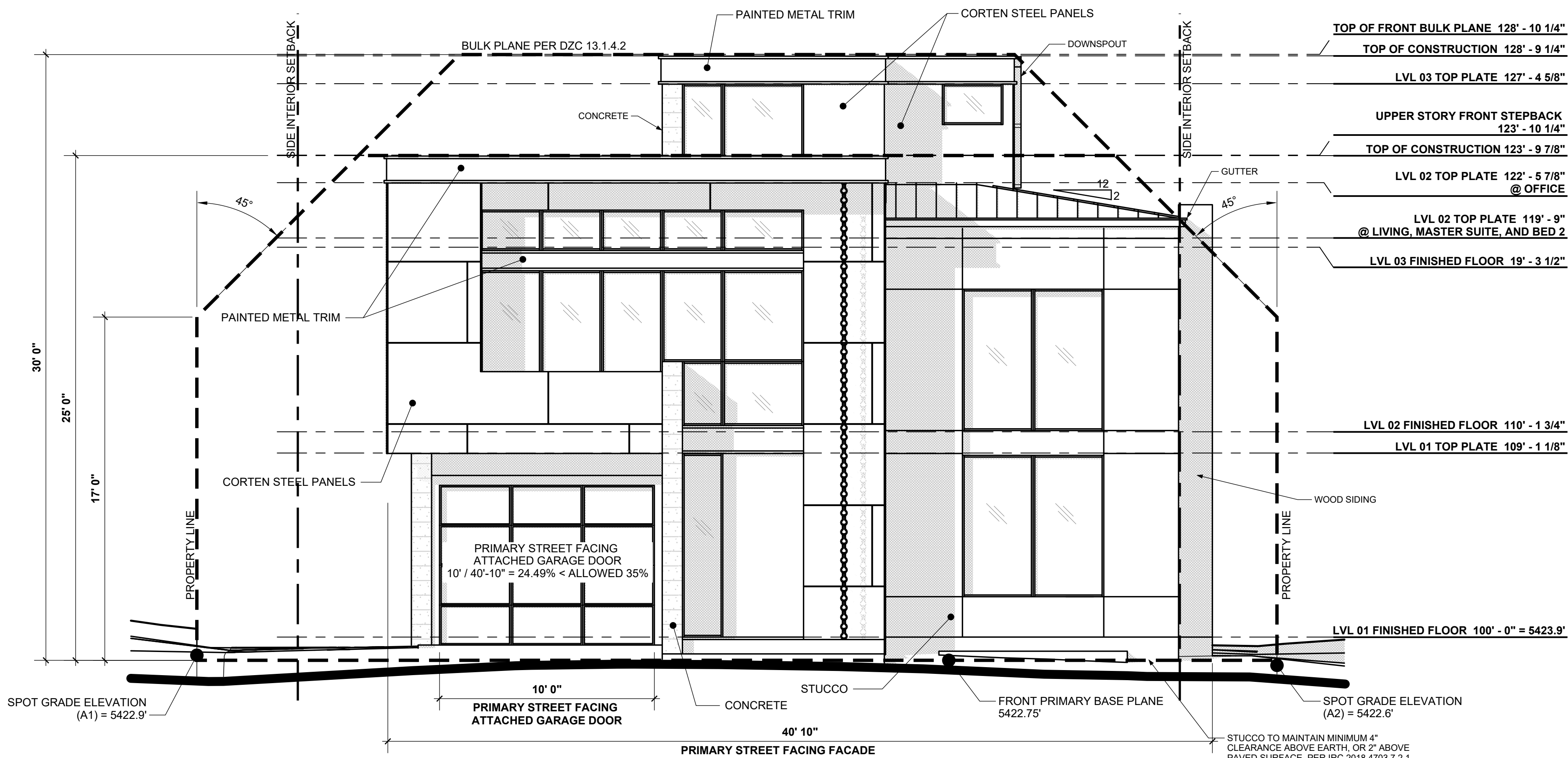
CONSTRUCTION PLANS



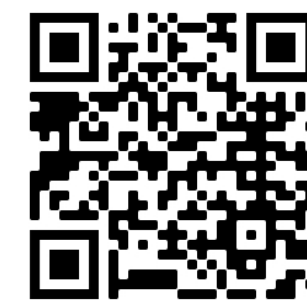
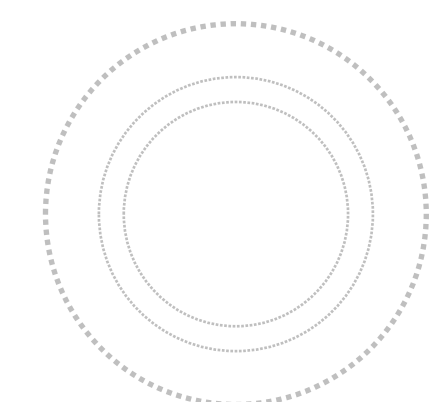
BRIGHTMAN DESIGNS
2417 E. 28th Ave.
Denver, CO 80205
720.443.3242
info@brightmandesigns.com



PROJECT INFO



BRIGHTMAN DESIGNS
2417 E. 28th Ave.
Denver, CO 80205
720.443.3242
info@brightmandesigns.com



PROJECT INFO

HICKS RESIDENCE RENOVATION

OWNER:
Joe Hicks
joehicksdenver@gmail.com
720.560.1211

DOCUMENT DATE:
March 30, 2021

DRAWN BY:
MB

CHECKED BY:
MB

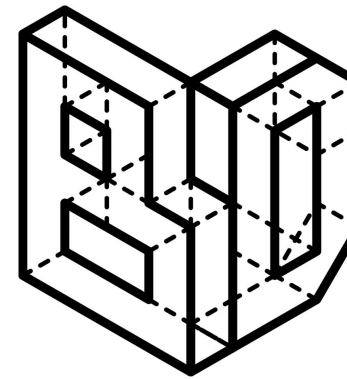
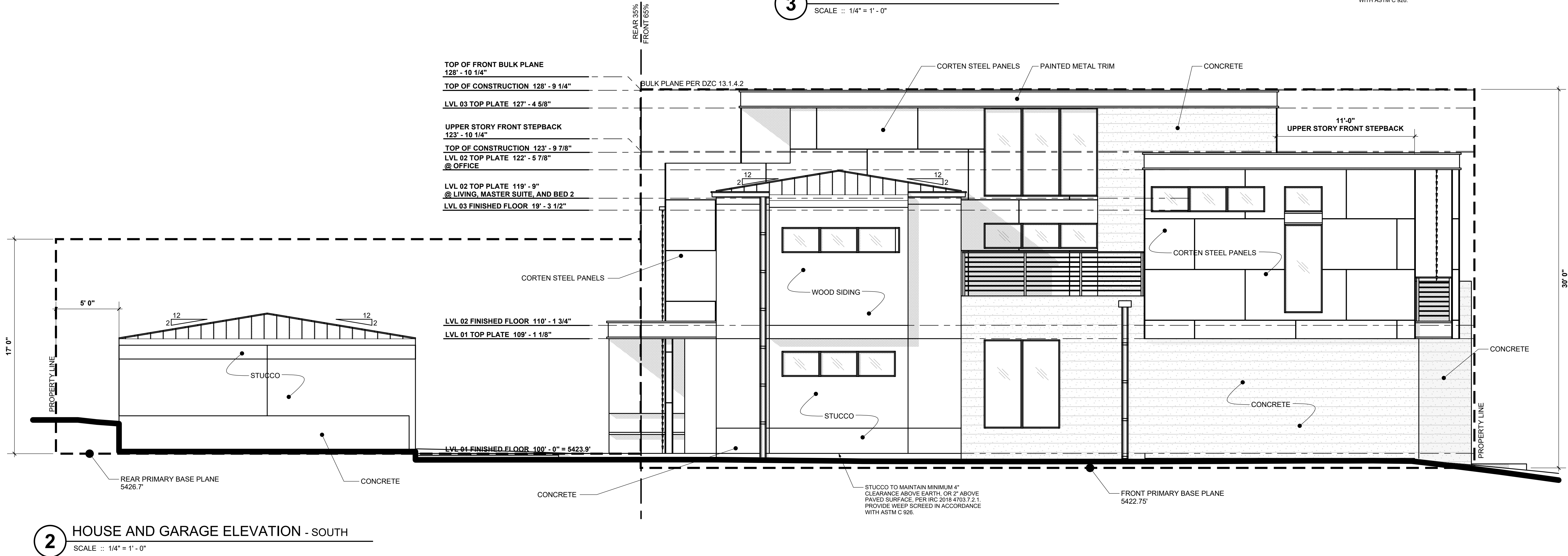
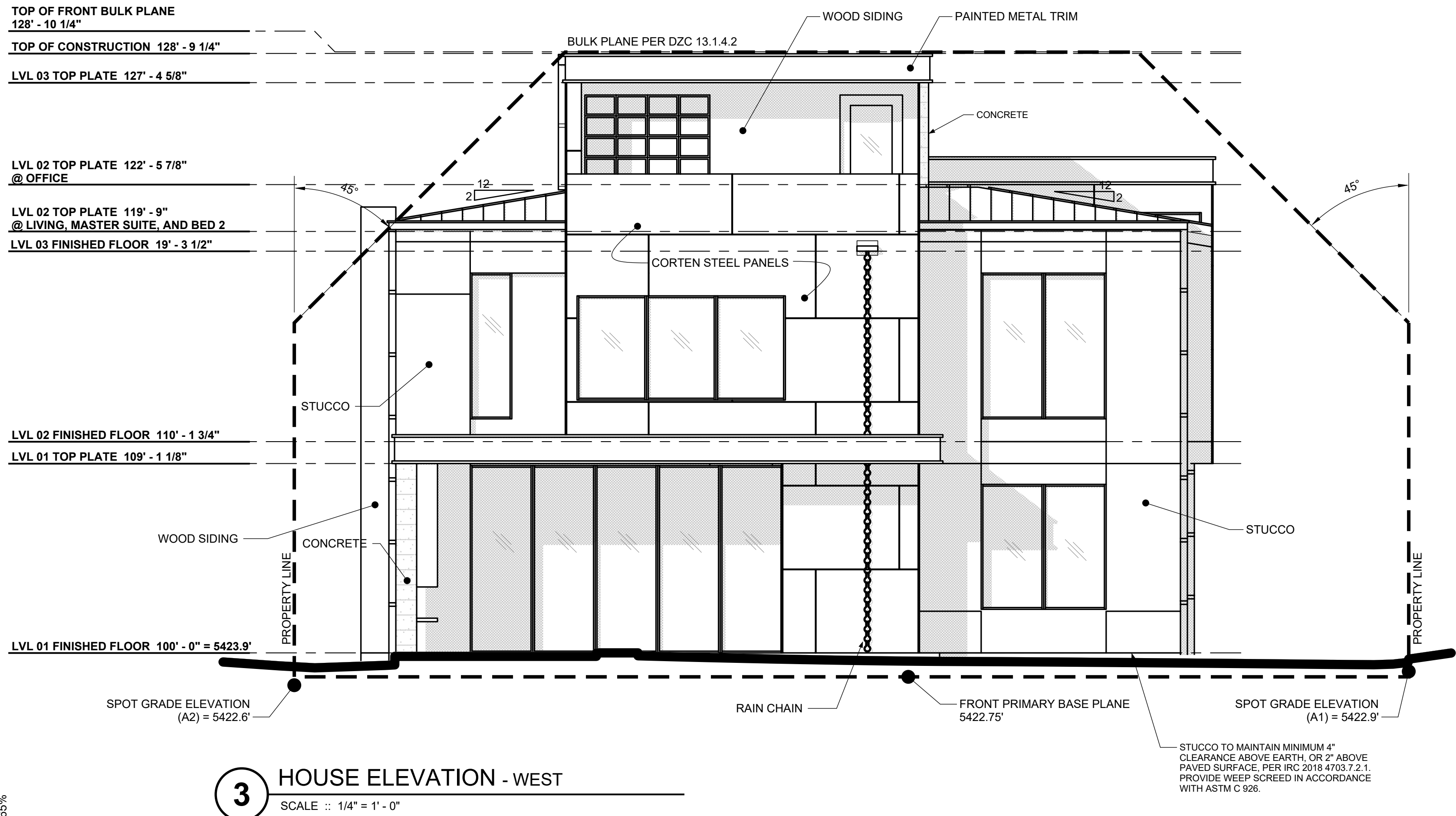
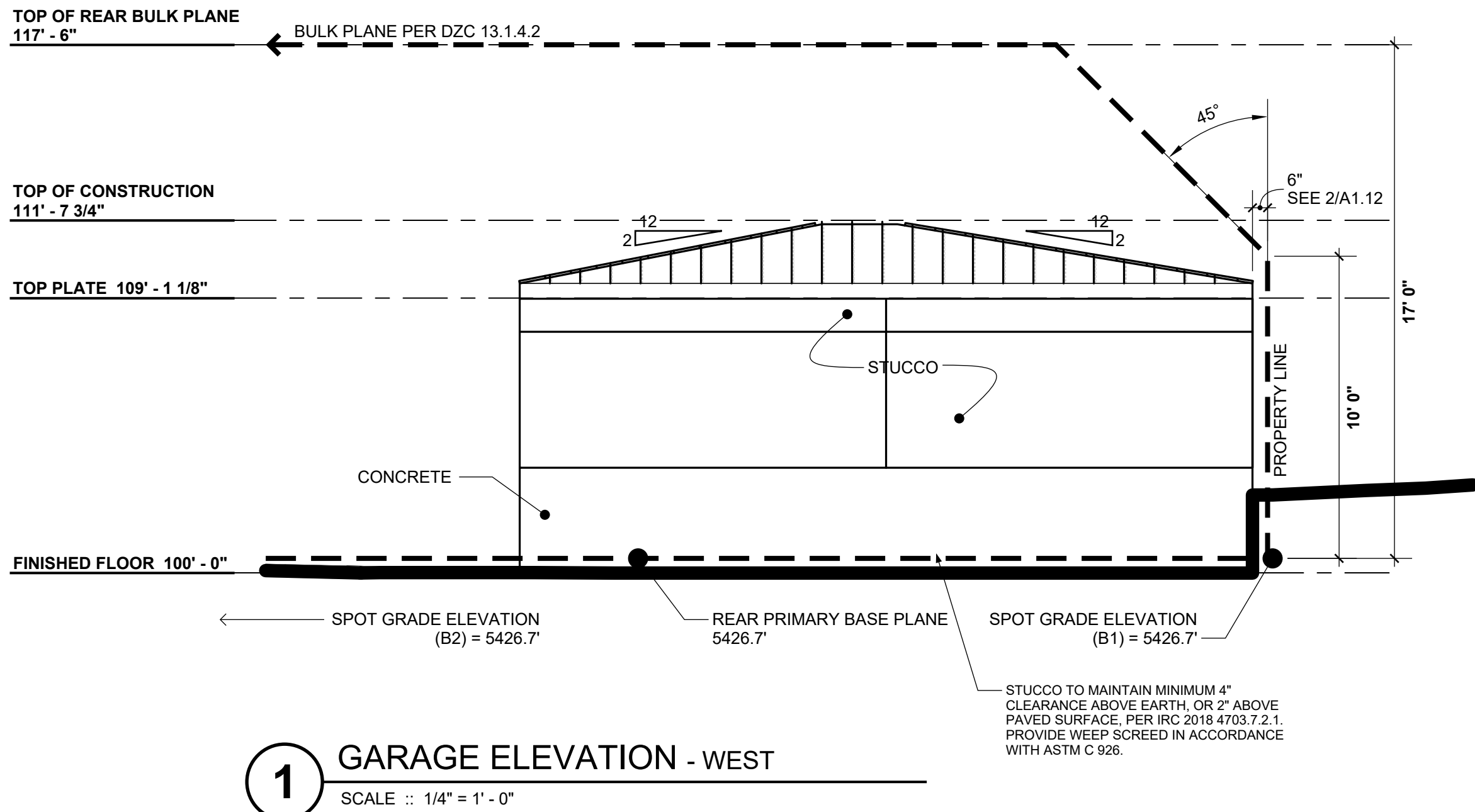
DENVER LOG#:
2020-LOG-0009820

235 S. Ivy St. :: Denver, CO :: 80205

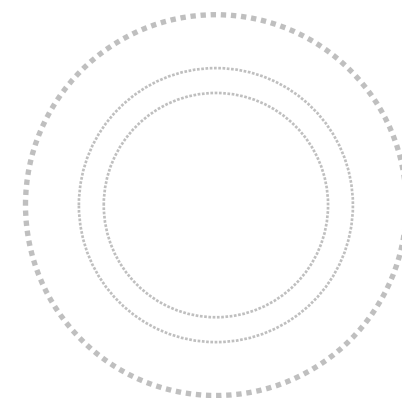
△ REV 1 - SUDP COMMENTS 2020.12.07
△ REV 2 - SUDP COMMENTS 2021.02.26
△ FOR CONSTRUCTION
△
△
△

A1.08

EXTERIOR ELEVATIONS



BRIGHTMAN DESIGNS
2417 E. 28th Ave.
Denver, CO 80205
720.443.3242
info@brightmandesigns.com



PROJECT INFO

HICKS RESIDENCE RENOVATION

OWNER:
Joe Hicks
joehicksdenver@gmail.com
720.560.1211

235 S. Ivy St. :: Denver, CO :: 80205

DOCUMENT DATE:
March 30, 2021

DENVER LOG#:
2020-LOG-0009820

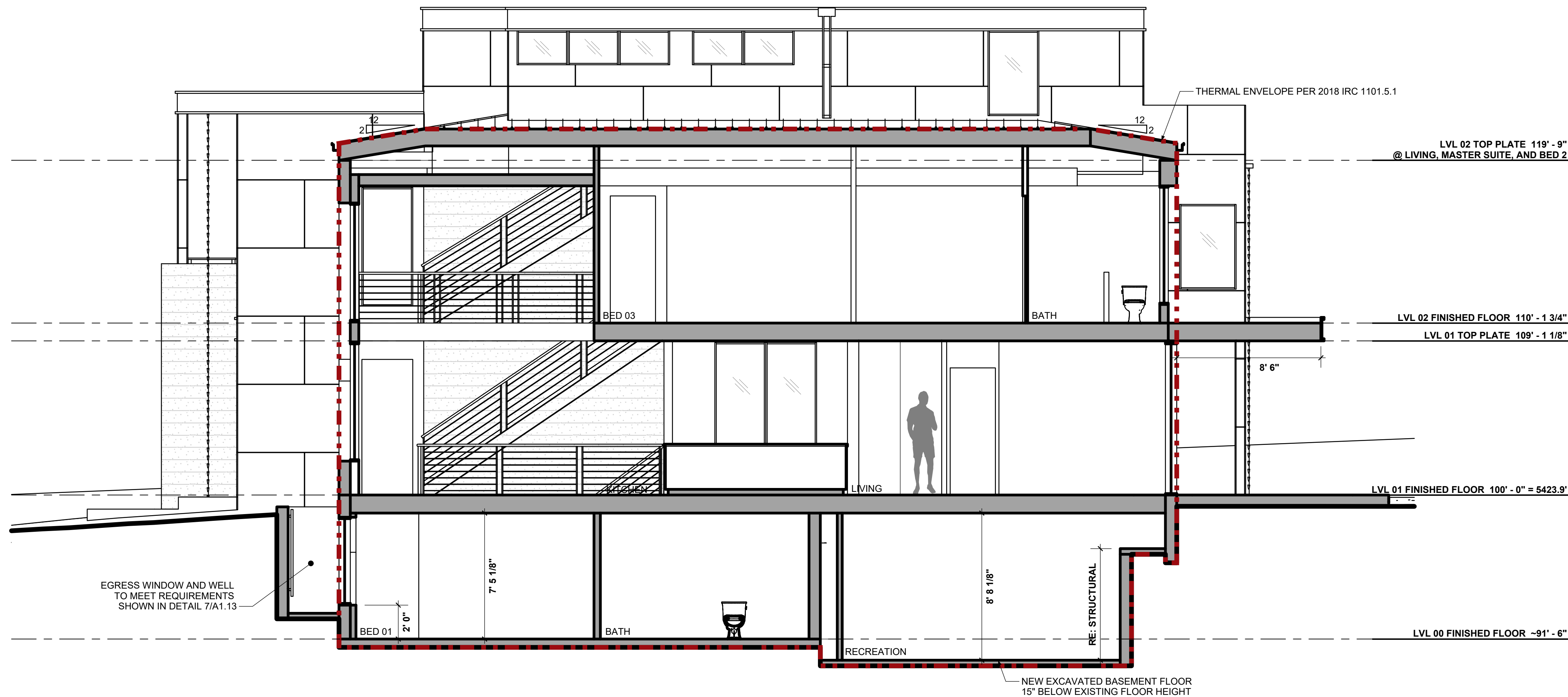
DRAWN BY:
MB

CHECKED BY:
MB

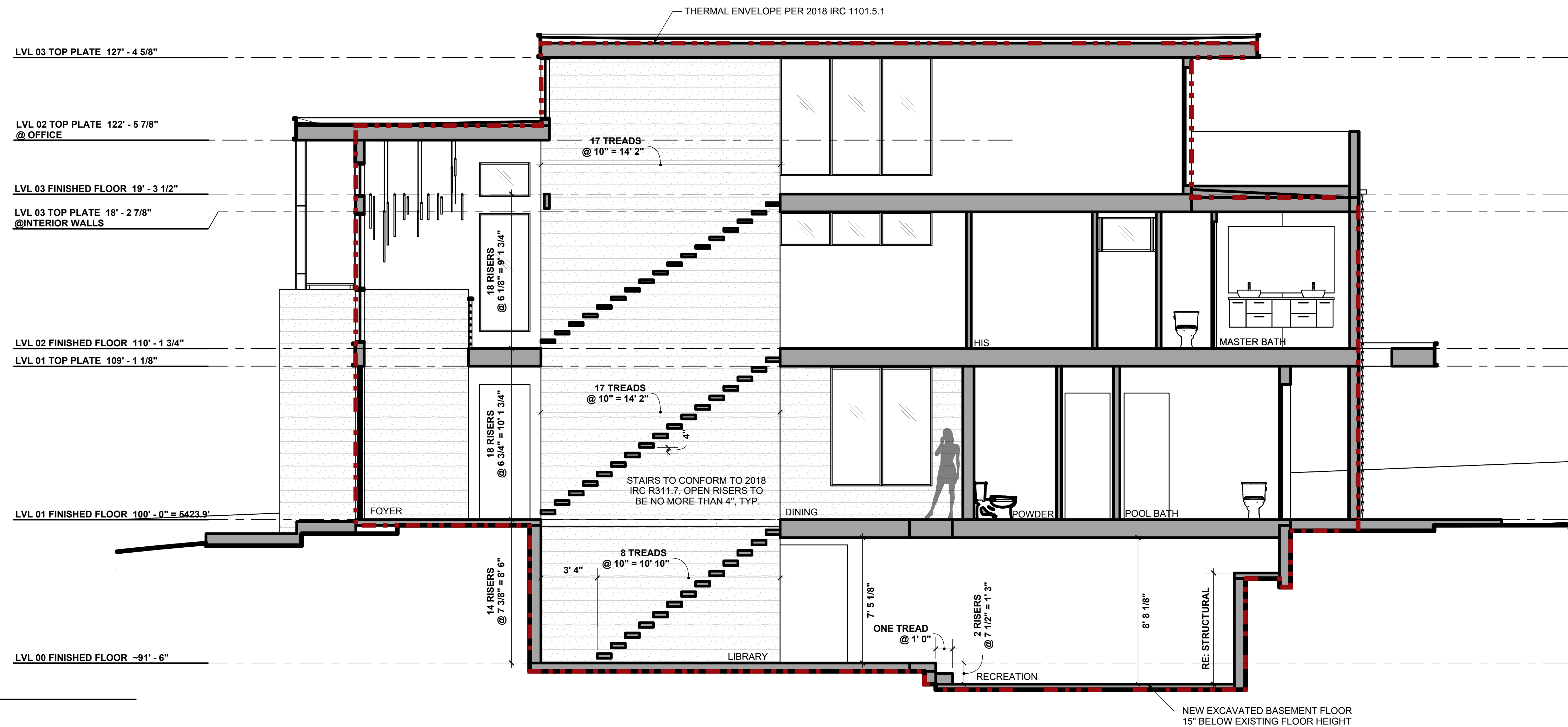
- △ REV 1 - SUDP COMMENTS 2020.12.07
- △ REV 2 - SUDP COMMENTS 2021.02.26
- △ FOR CONSTRUCTION
- △
- △
- △

A1.09

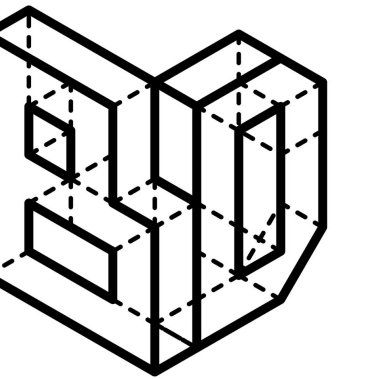
EXTERIOR ELEVATIONS



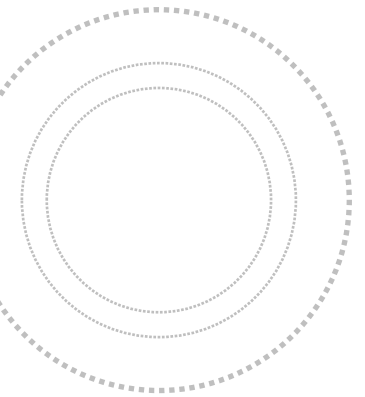
1 SECTION - AA
SCALE :: 1/4" = 1' - 0"



2 SECTION - BB
SCALE :: 1/4" = 1' - 0"



BRIGHTMAN DESIGNS
2417 E. 28th Ave.
Denver, CO 80205
720.443.3242
info@brightmandesigns.com



PROJECT INFO

HICKS RESIDENCE RENOVATION

OWNER:
Joe Hicks
joehicksdenver@gmail.com
720.560.1211

DRAWN BY:
MB
CHECKED BY:
MB

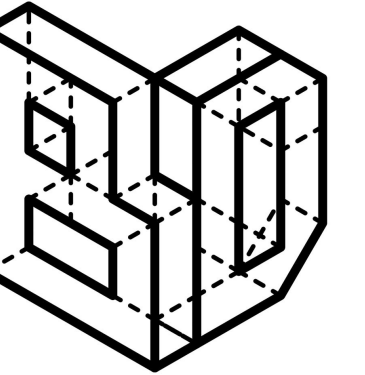
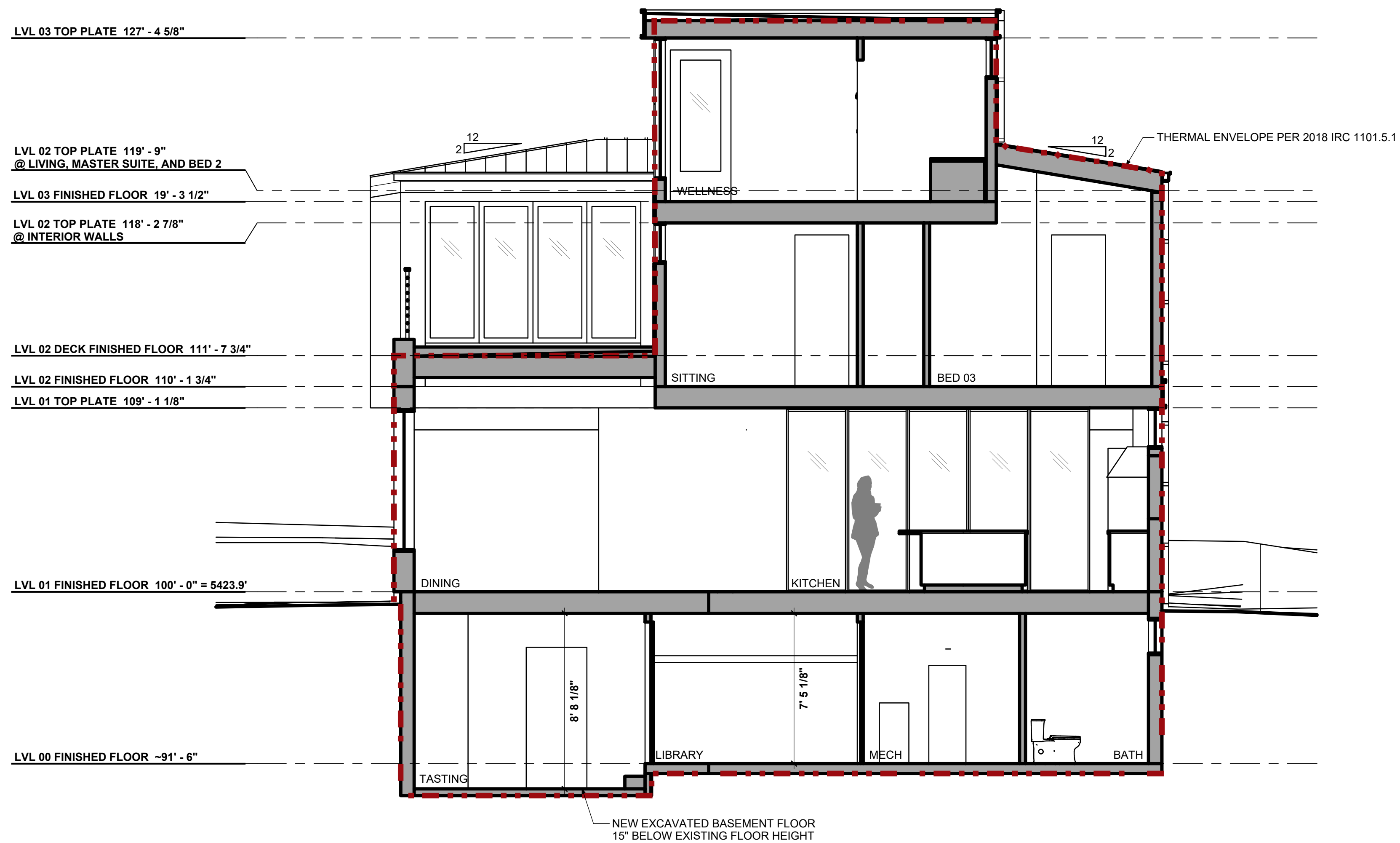
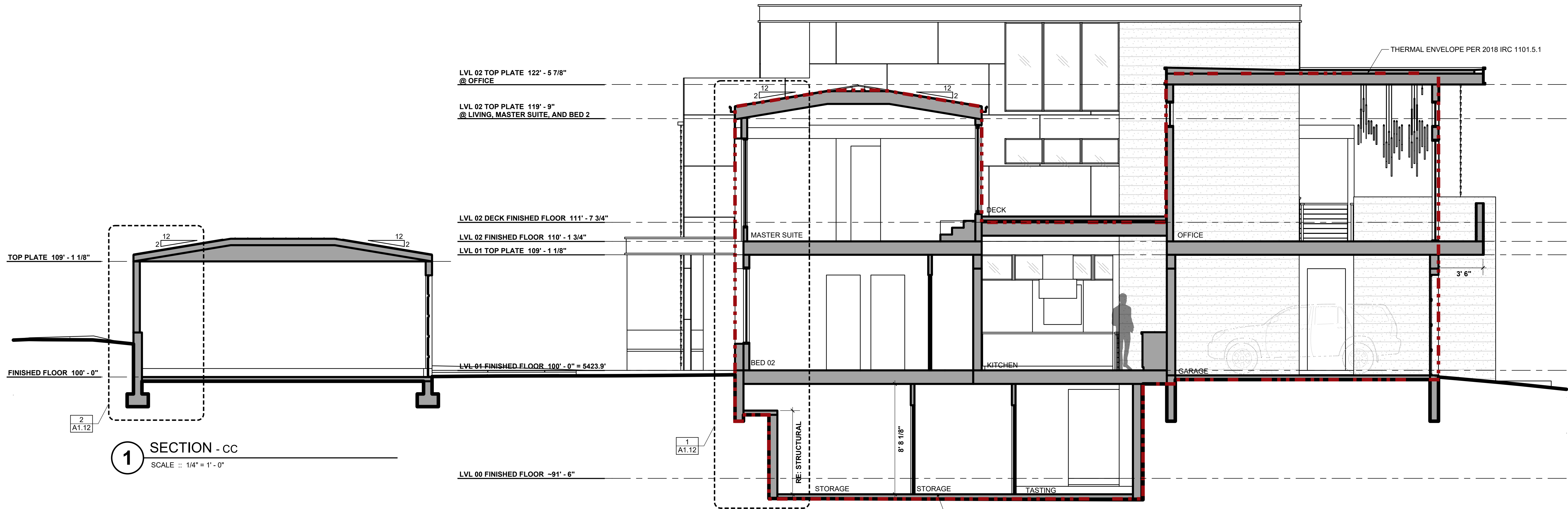
DOCUMENT DATE:
March 30, 2021
DENVER LOG#:
2020-LOG-0009820

235 S. Ivy St. :: Denver, CO :: 80205

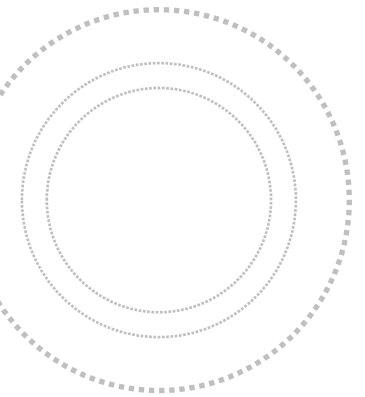
- △ REV 1 - SUDP COMMENTS 2020.12.07
- △ REV 2 - SUDP COMMENTS 2021.02.26
- △ FOR CONSTRUCTION
- △
- △
- △

A1.10

BUILDING SECTIONS



BRIGHTMAN DESIGNS
2417 E. 28th Ave.
Denver, CO 80205
720.443.3242
info@brightmandesigns.com



PROJECT INFO

HICKS RESIDENCE RENOVATION

OWNER:
Joe Hicks
joehicksdenver@gmail.com
720.560.1211

235 S. Ivy St. :: Denver, CO :: 80205

DOCUMENT DATE:
March 30, 2021
DENVER LOG#:
2020-LOG-0009820

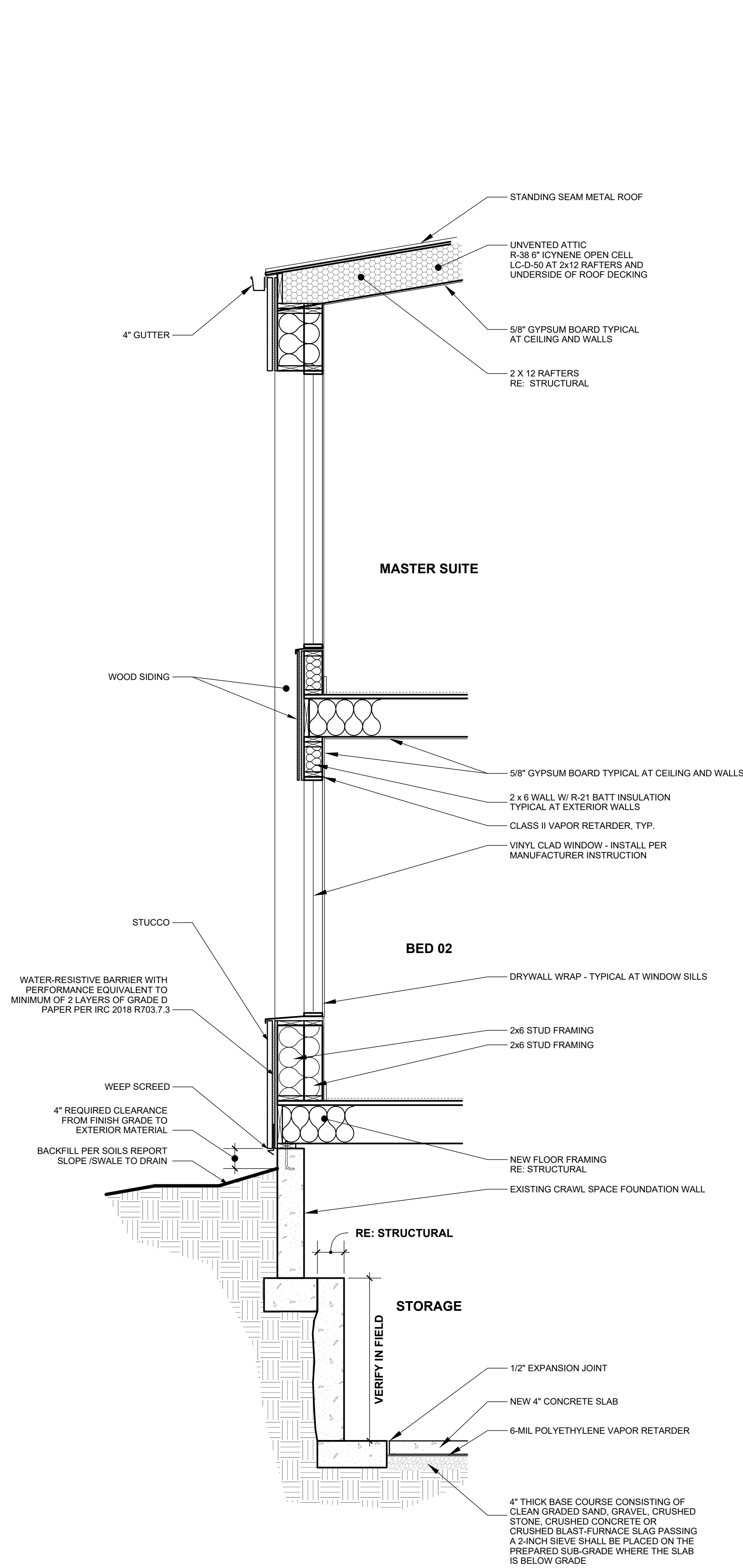
DRAWN BY:
MB
CHECKED BY:
MB

△ REV 1 - SUDP COMMENTS 2020.12.07
△ REV 2 - SUDP COMMENTS 2021.02.26
△ FOR CONSTRUCTION

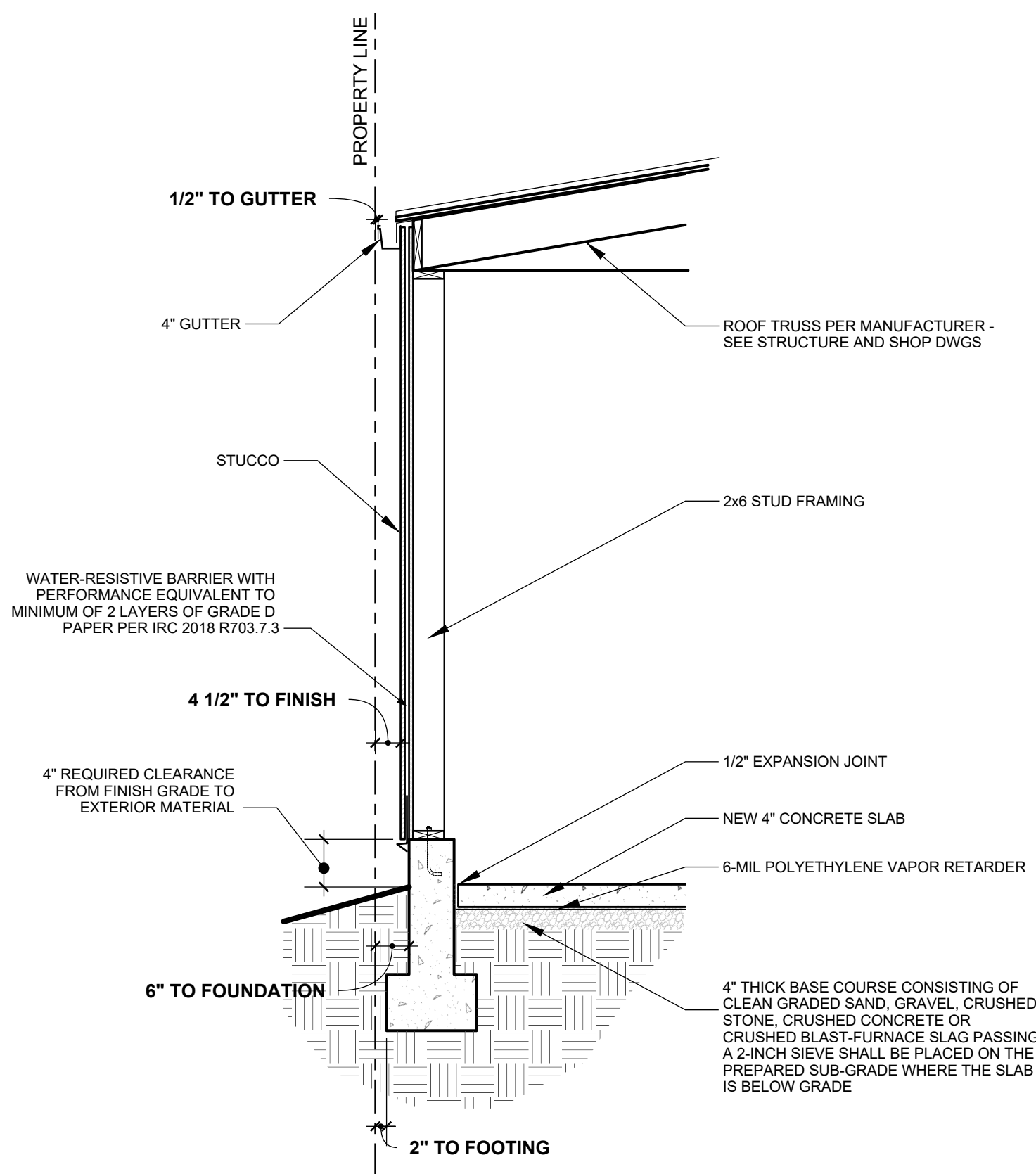
△
△
△

A1.11

BUILDING SECTIONS



1 WALL SECTION - Stucco and Wood Siding
SCALE :: 1/2" = 1' - 0"



2 WALL SECTION - Typical Garage Stucco
SCALE :: 1/2" = 1' - 0"

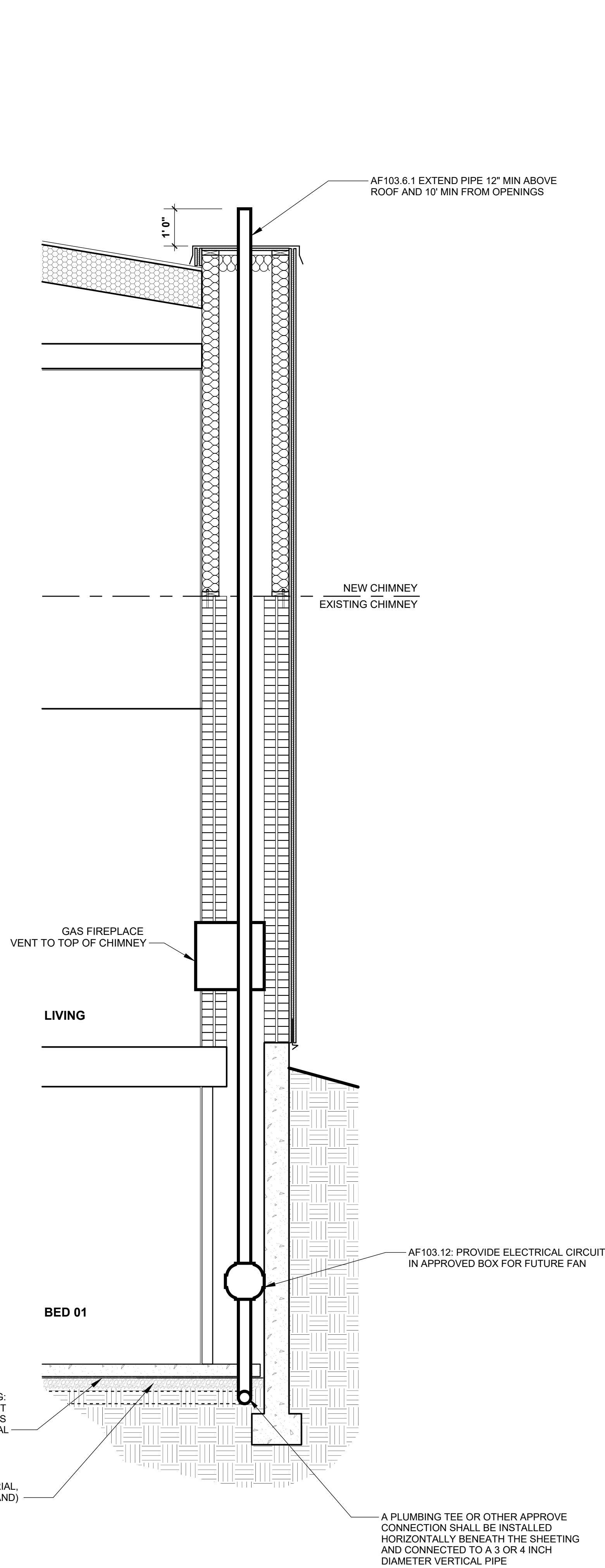
SUB SLAB DEPRESSURIZATION PASSIVE RADON SYSTEM, PER CODE REQUIREMENTS OF 2018 IRC, APPENDIX F

RADON GENERAL NOTES:

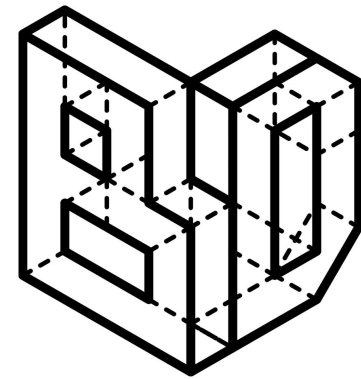
- PASSIVE RADON CONTROL DESIGN SHALL FULLY COMPLY WITH 2018 OF THE IRC APPENDIX F
- SHEETING SHALL COVER ENTIRE FLOOR AREA AND SECTIONS SHALL BE LAPPED NOT LESS THAN 12 INCHES
- ALL POTENTIAL RADON ENTRY ROUTES INTO THE HOUSE SHALL BE SEALED OR OTHERWISE PROTECTED FROM POTENTIAL ENTRY
- AIR-HANDLING UNITS IN CRAWL SPACES SHALL BE SEALED TO PREVENT AIR FROM BEING DRAWN INTO THE UNIT
- F103.6.1: VENT PIPE: A PLUMBING TEE OR OTHER APPROVE CONNECTION SHALL BE INSTALLED HORIZONTALLY BENEATH THE SHEETING AND CONNECTED TO A 3 OR 4 INCH DIAMETER VERTICAL PIPE EXTENDED UP THROUGH THE BUILDING AND TERMINATE 12 INCHES ABOVE THE ROOF, NO LESS THAN 10 FEET AWAY FROM ANY WINDOW OF OPENING INTO THE CONDITIONED SPACE OF THE HOUSE.
- EXPOSED VISIBLE INTERIOR VENT PIPES SHALL BE LABELED "RADON REDUCTION SYSTEM", ONE PER EACH FLOOR AND ATTIC. POTENTIAL RADON ENTRY ROUTES SHALL BE CLOSED IN ACCORDANCE WITH SECTIONS AF103.4.1 THROUGH AF103.4.10
- RADON VENT PIPES SHALL BE ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH AN ATTIC OR OTHER AREA OUTSIDE THE HABITABLE SPACE. EXCEPTION: THE RADON VENT PIPE NEED NOT BE ACCESSIBLE IN AN ATTIC SPACE WHERE AN APPROVED ROOF-TOP ELECTRICAL SUPPLY IS PROVIDED FOR FUTURE USE.
-

AF103.3: SOIL GAS RETARDER SHEETING: MIN. 6 MIL POLYETHYLENE OF EQUIVALENT SHEETING MATERIAL LAID ON TOP OF GAS PERMEABLE MATERIAL

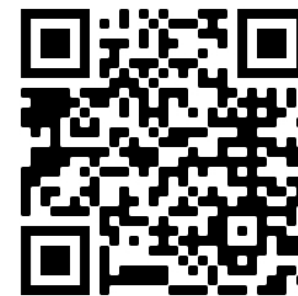
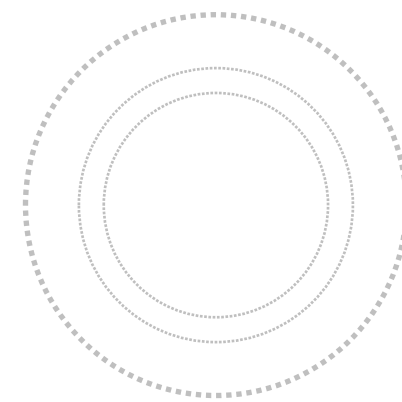
AF103.2: GAS - PERMEABLE MATERIAL, MINIMUM 4" THICK (AGGREGATE OR SAND)



3 WALL SECTION - Radon System
SCALE :: 1/2" = 1' - 0"



BRIGHTMAN DESIGNS
2417 E. 28th Ave.
Denver, CO 80205
720.443.3242
info@brightmandesigns.com



PROJECT INFO

HICKS RESIDENCE RENOVATION

235 S. Ivy St. :: Denver, CO :: 80205

OWNER:
Joe Hicks
joehicksdenver@gmail.com
720.560.1211

DOCUMENT DATE:
March 30, 2021

DENVER LOG#:
2020-LOG-0009820

DRAWN BY:
MB

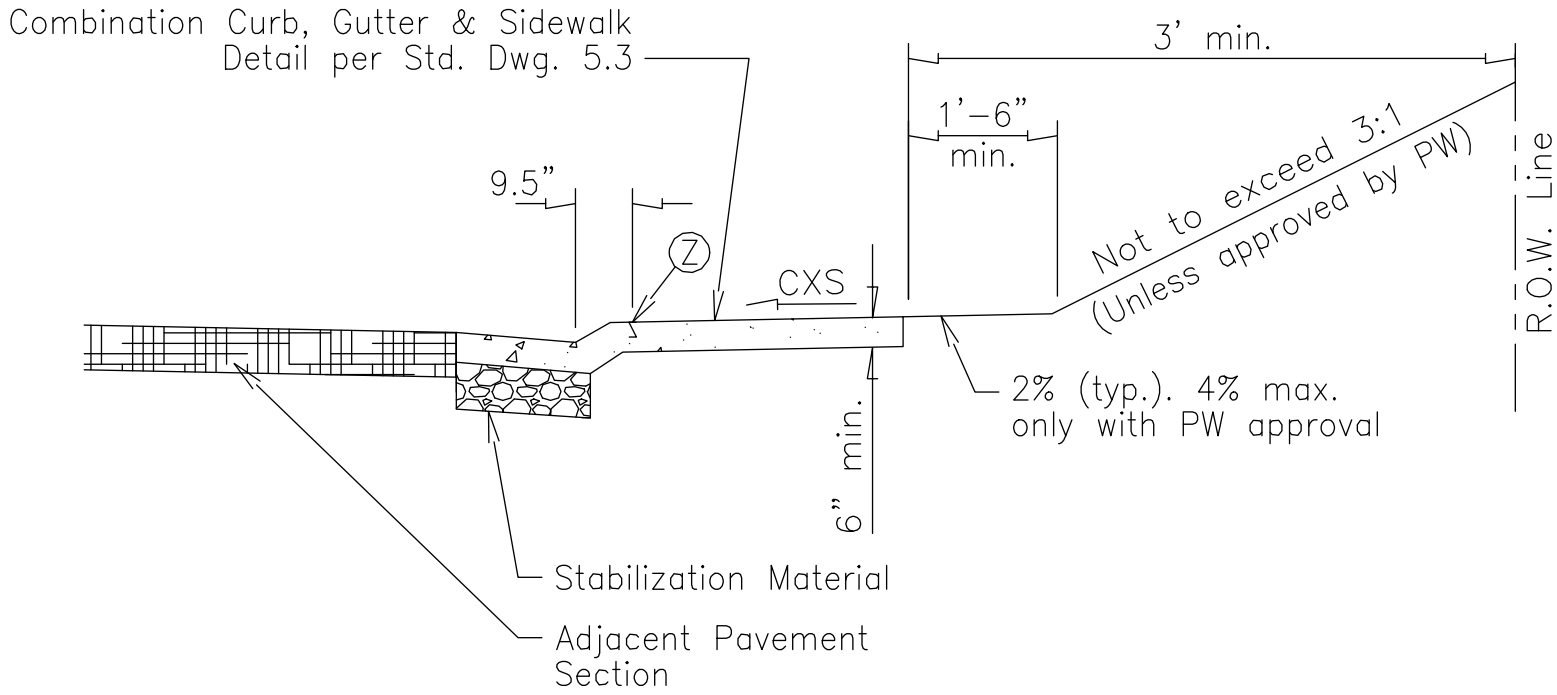
CHECKED BY:
MB

- REV 1 - SUDP COMMENTS 2020.12.07
- REV 2 - SUDP COMMENTS 2021.02.26
- FOR CONSTRUCTION



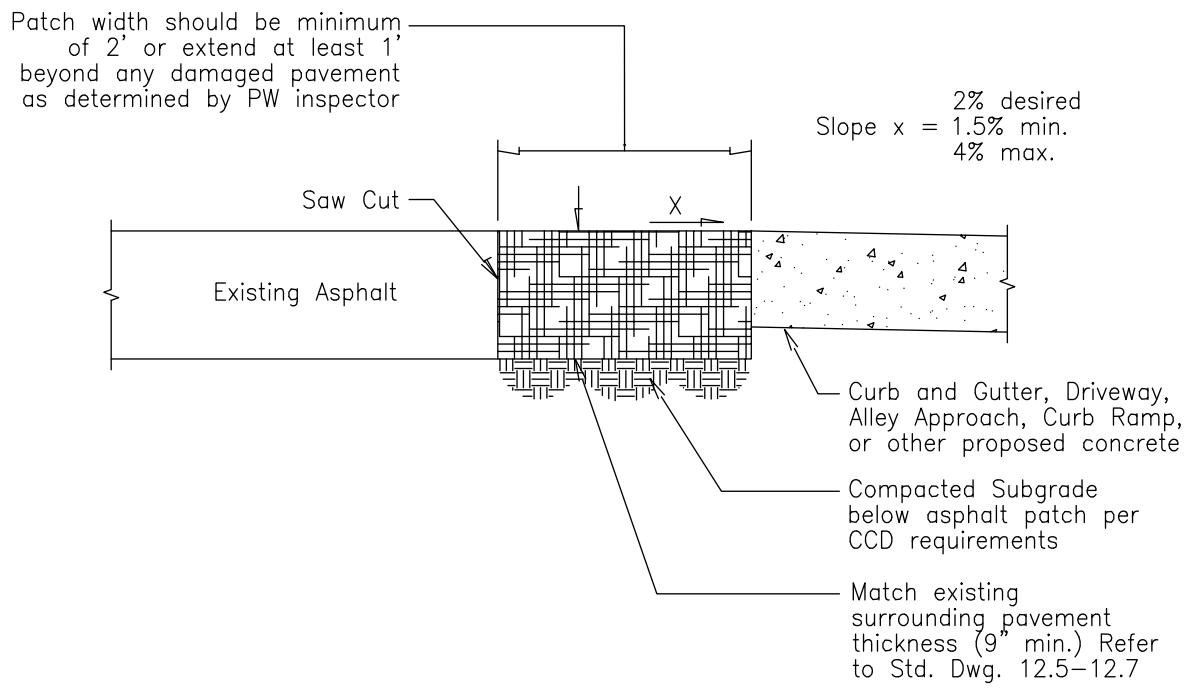
A1.12

WALL SECTIONS



DETAIL - Combination Curb, Gutter, and Sidewalk

SCALE :: 1/2" = 1' - 0"



ASPHALT PATCH

- Notes:
- Larger patch section is required on new streets or streets that have undergone recent pavement work.
 - Any patch preformed on a Moratorium Street (streets constructed or having been re-surfaced within past 36 months) is subjected to special requirements:
 - Patches into Moratorium or Residential Streets of LESS than 32 square feet, shall be patched using the method of infra-red heating into surrounding asphalt, adding rejuvenator liquid, mixing it with new and old asphalt, and re-compaction.
 - Patches into Moratorium Streets of GREATER than 32 square feet, shall be patched using the 1" patch method. Refer to Std. Dwg. 12.2.
 - When any single project or contractor makes 5 or more patches within any Moratorium Street, then the street shall be milled and overlaid at minimum of full lane (stripe to stripe or centerline/crown to curb and gutter) width, or more to cover all previous cuts. Mill and overlay shall start and stop at least 10 feet outside of the total of all cuts. All such paving shall be minimum 10 feet wide with self propelled paver with grade controls.
 - Any asphalt patch more than 10' wide, or more than one lane wide, may trigger reconstruction of more of the existing street. When required, street reconstruction shall be per Std. Dwg. 12.5-12.7
 - Avoid saw cuts in the existing or future planned wheel paths.
 - Lane edges (joints between paving passes) shall follow the traffic striped lanes as much as practicable. Lane edge joints shall not be in a wheel path. They should stagger previous edge by a minimum of 6" to avoid stacked edges.
 - Where existing cross-slope is steeper than 4%, patch cross-slope may be allowed to match, with approval of PW.

DETAIL - Asphalt Patch

SCALE :: 1/2" = 1' - 0"

DEFAULT ASPHALT PAVEMENT DESIGN CRITERIA AND MINIMUM THICKNESS BY ROADWAY CLASSIFICATION FOR RECONSTRUCTION OF EXISTING STREETS

	Traffic Level					Industrial
	Residential	Collector	Heavy Collector (Truck or Bus Route)	Arterial		
Design Lane ESALS Minimum, unless designer performs a vehicle classification per MGPEC Pavement Design Standards	70,000 + 80 x num. of new dwelling units to be constructed	100,000**	500,000***	3,000,000	5,000,000	Must perform MGPEC Pavement Design www.mgpec.org
Minimum total full depth asphalt section (T+M+B) without MGPEC compliant geotechnical or pavement thickness design*	7.0"	7.5**	10.0***	13.5"	14.5"	14.5" or per pavement design

- * Or match existing, whichever is greater
** Local collector residential only
*** Local collector with added commercial uses or has RTD bus route, or takes commercial traffic

Table 12.7-2		REQUIRED ASPHALT MATERIALS—BY LIFT				
		Residential <100,000 ESALs	Collector	Heavy Collector (Truck or Bus Route)	Arterial	Industrial
		Asphalt Mix Grading (nominal size)	SK (1 1/2")	SK (1 1/2")	SK (1 1/2")	SK (1 1/2"), or S (3/4") by permission of PW
Top Lift (T)	Mix Design Gyrator Compaction Effort Level	N=75	N=75	N=100	N=100	N=100 N=125 (from design)
	Asphalt Binder Grade (PG hh-II)	PG 58–28	*PG 58–28 with low traffic **PG 64–22 with high traffic	PG 64–22	PG 76–28 (polymer modified), if available. Use PG 64–22 if not.	PG 64–22 or by design
Lower Lifts (M1, M2, B)	Asphalt Mix Grading (nominal size)	S (3/4") SG (1.0") Note: 1	S (3/4") or SG (1.0") Note: 1	S (3/4") or SG (1.0") Note: 1	S (3/4") or SG (1.0") Note: 1	S (3/4") or SG (1.0") Note: 1
	Mix Design Gyrator Compaction Effort Level	N=75	N=75	N=100	N=100	N=100 N=125
	Asphalt Binder Grade (PG hh-II)	Same as for top lift	Same as for top lift	PG 64–22 Note: 2	PG 64–22 Note: 2	PG 64–22 Note: 2

- * PG 58-28 if no buses, no commercial use
** PG 64-22 if has RTD bus route or takes commercial traffic

- Notes:
- Grading SG may be allowed based upon ability of paving operation to obtain required percent of Rice compaction, proper lift thickness, and sufficient length of paving. Not to be used when hand placement or moving is necessary that would result in segregation.
 - A one-grade softer binder may be allowed on lower lifts to meet "Perpetual Pavement" designs.

DETAIL - Pavement Design Criteria

SCALE :: 1/2" = 1' - 0"

wt. 7	5/8" Sheetrock Firecode Core panels, or 5/8" Sheetrock UltraLight panels Firecode X or 5/8" Firecode panels - 2 x 4 wood stud 16" or 24" o.c. - optional insulation	UL Des U305, U314	32	RAL-TL11-129 Based on 5/8" Sheetrock Firecode core panels, no sound bat	A-59
49/4"			33	RAL-TL11-172 Based on 5/8" Sheetrock UltraLight Panels Firecode X, no sound bat	
			34	RAL-TL11-173, RAL-TL11-130 Based on 5/8" Sheetrock Firecode core panels or 5/8" Sheetrock UltraLight Panels Firecode X with R-11 fiberglass sound bat	
			37	RAL-TL11-081, RAL-TL11-084 Based on double layer one side 5/8" Sheetrock Firecode core panels or 5/8" Sheetrock UltraLight Panels Firecode X with R-11 fiberglass sound bat	

DETAIL - One Hour Fire Rated Interior Partition

NO SCALE

5/8" Sheetrock Firecode Core gypsum panels - 2x4 wood studs 24" o.c. - joints finished - optional insulation - optional plywood or OSB for shear purposes	UL Des U344			A-61
---	-------------	--	--	------

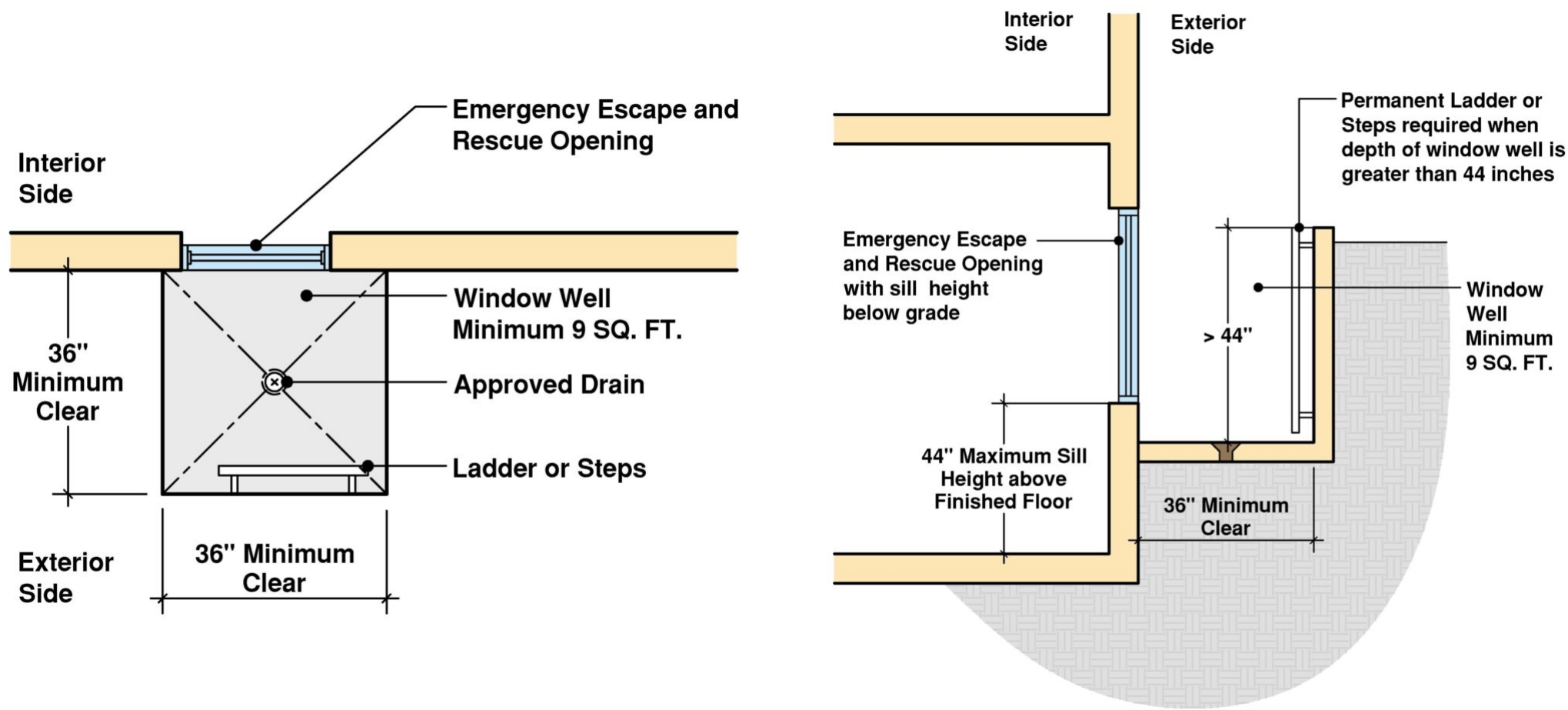
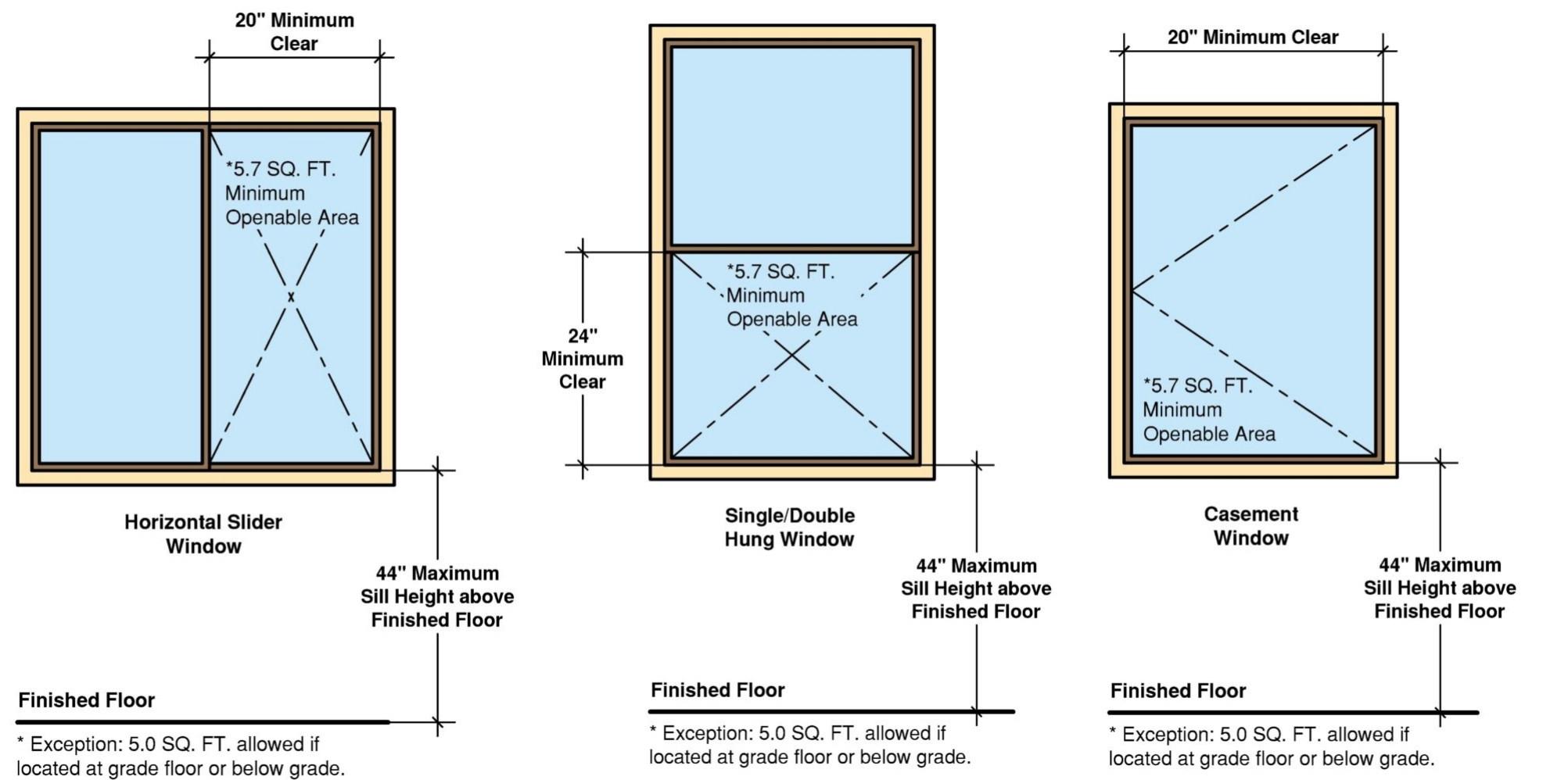
DETAIL - One Hour Fire Rated Exterior Wall

NO SCALE

clg. wt. 5	Two layers 1/2" Sheetrock Firecode C Core gypsum panels - 2x4 wood subfloor - 8" 1" shaped wood joist 24" o.c. - RC-1 channel - joints finished - 3/4" Lexusoc floor underlayment	UL Des L544			B-80
------------	--	-------------	--	--	------

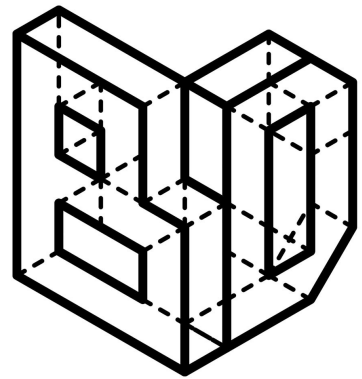
DETAIL - One Hour Fire Rated Floor/Ceiling

NO SCALE

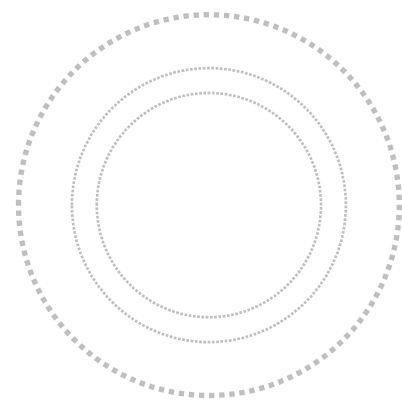


DETAIL - Egress Window Requirements

NO SCALE



BRIGHTMAN DESIGNS
2417 E. 28th Ave.
Denver, CO 80205
720.443.3242
info@brightmandesigns.com



PROJECT INFO

HICKS RESIDENCE RENOVATION

OWNER:
Joe Hicks
joehicksdenver@gmail.com
720.560.1211

235 S. Ivy St. :: Denver, CO :: 80205

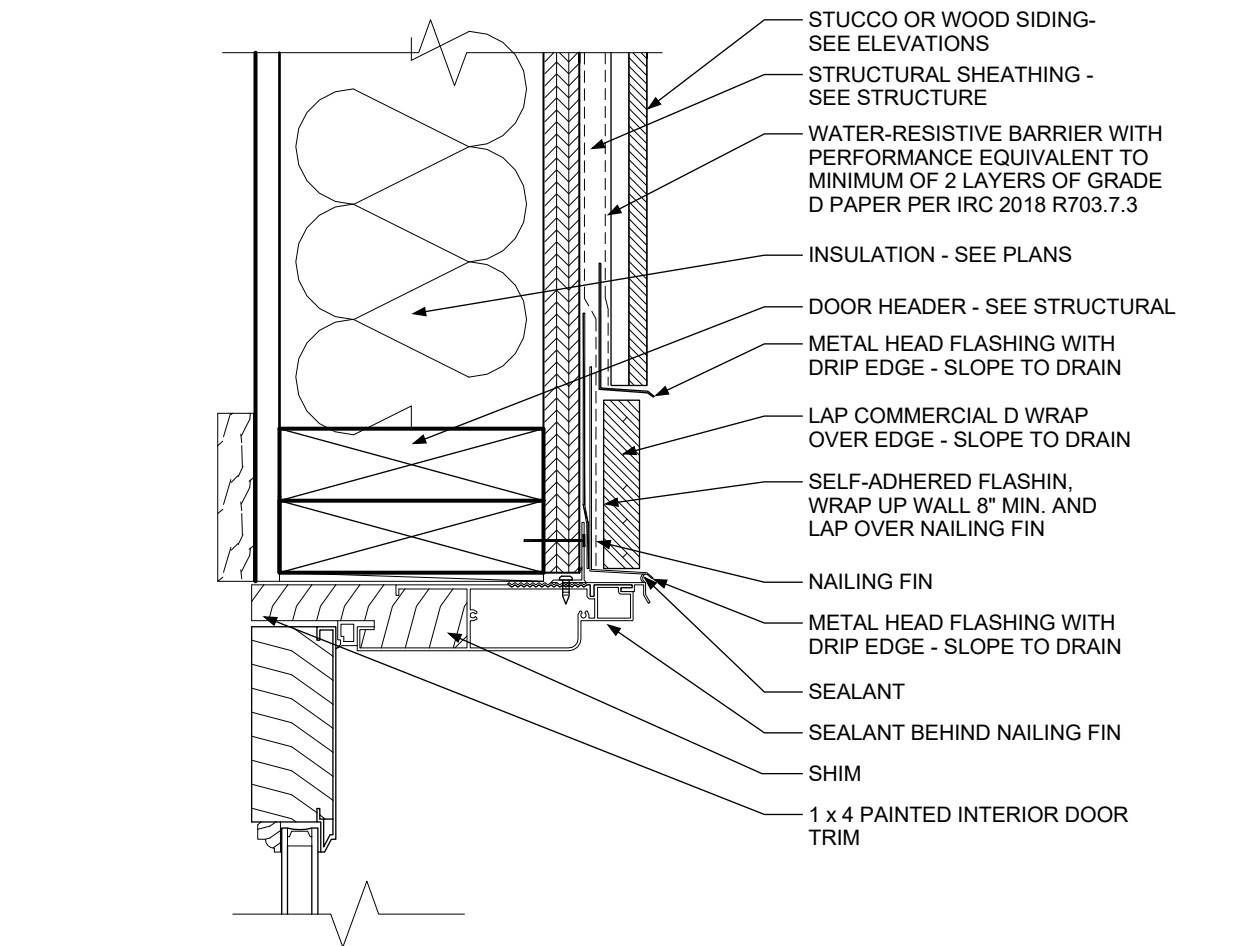
DOCUMENT DATE:
March 30, 2021
DENVER LOG#:
2020-LOG-0009820

DRAWN BY:
MB
CHECKED BY:
MB

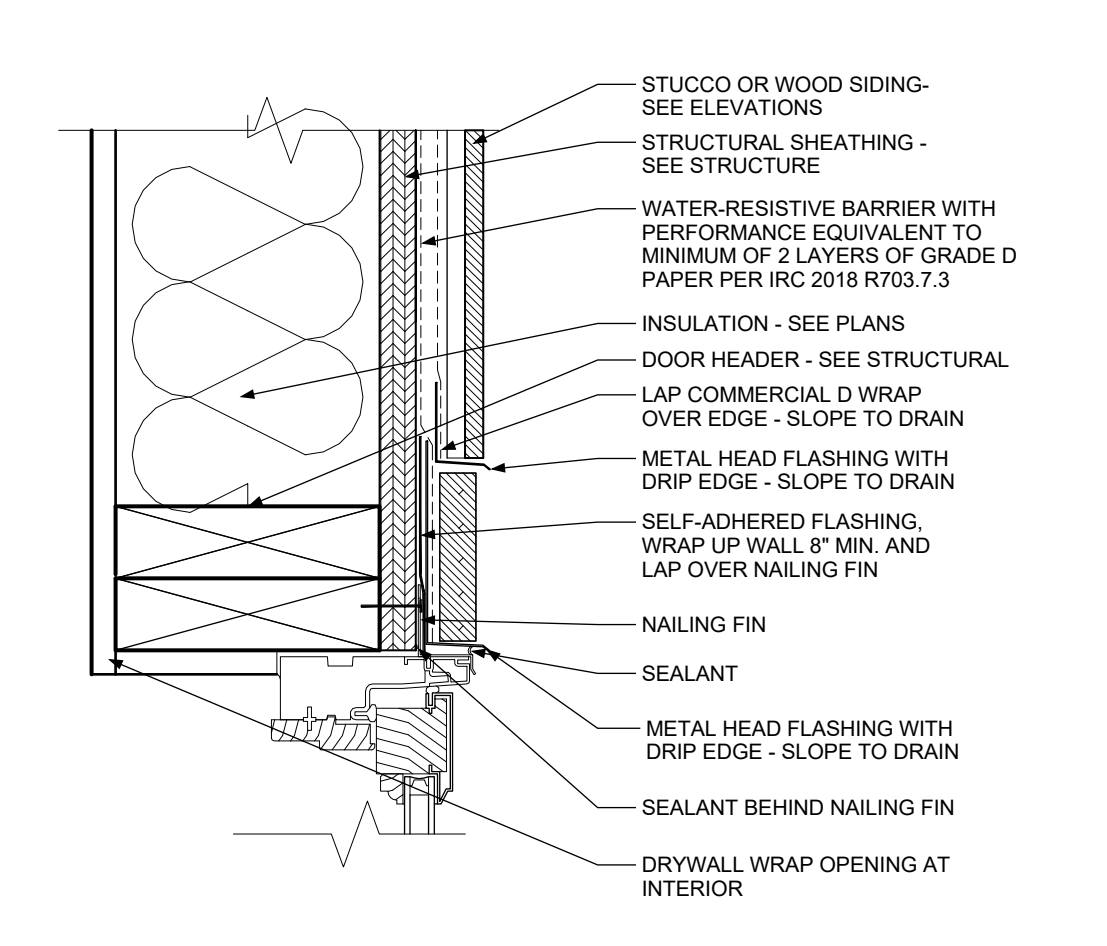
- REV 1 - SUDP COMMENTS 2020.12.07
REV 2 - SUDP COMMENTS 2021.02.26
FOR CONSTRUCTION

A1.13

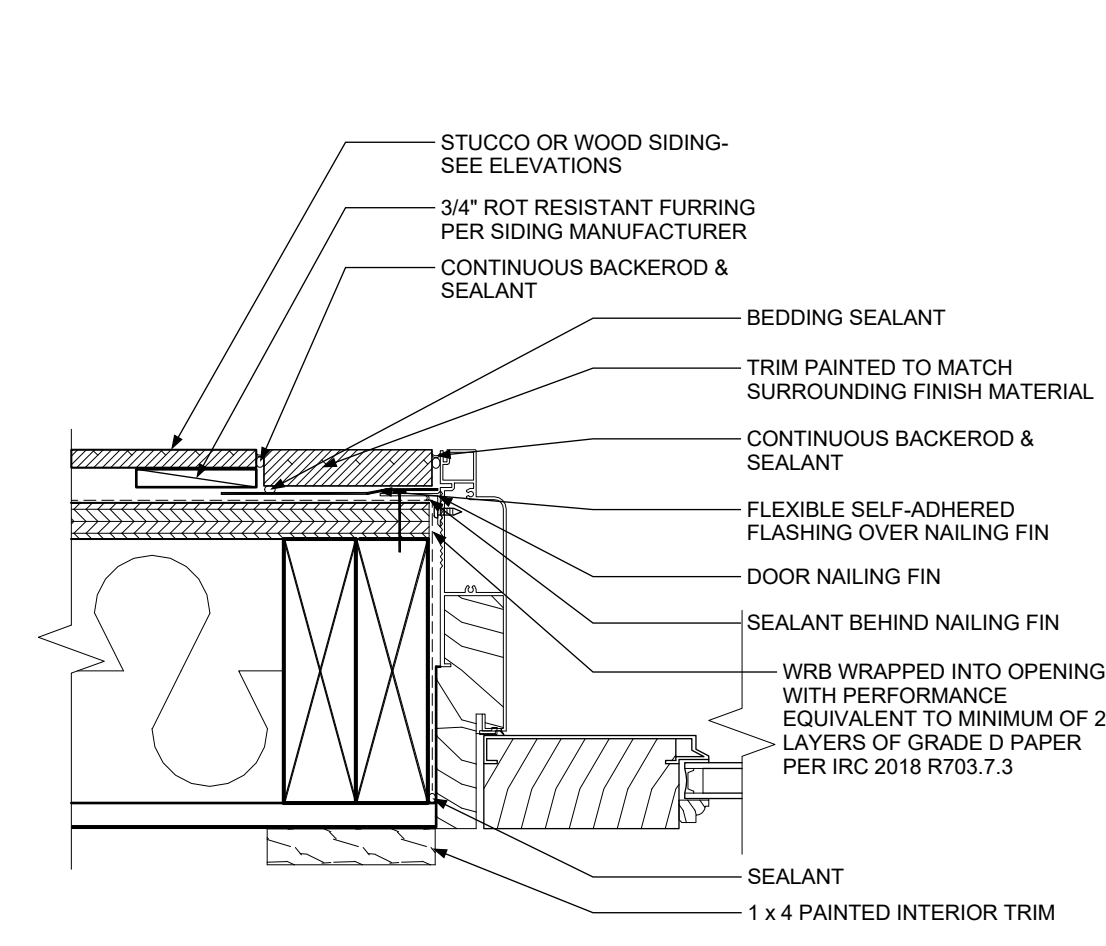
DETAILS



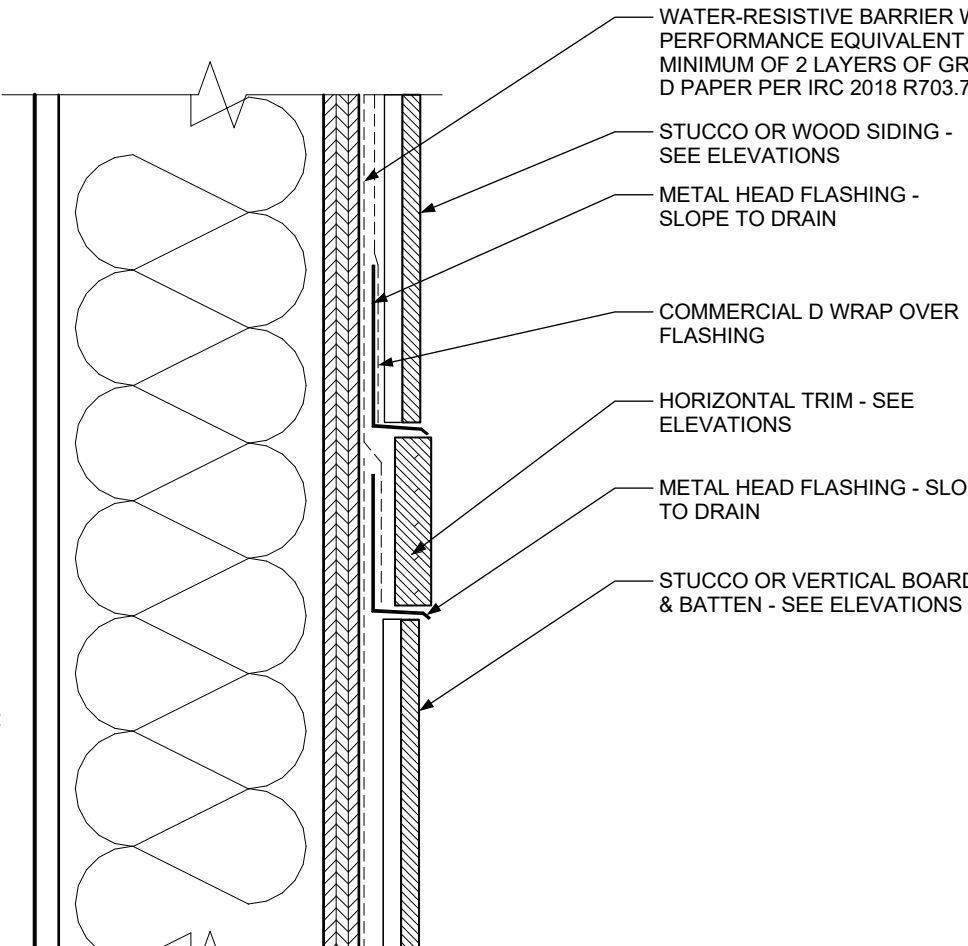
1 DETAIL - Door Head
SCALE :: 3" = 1' - 0"



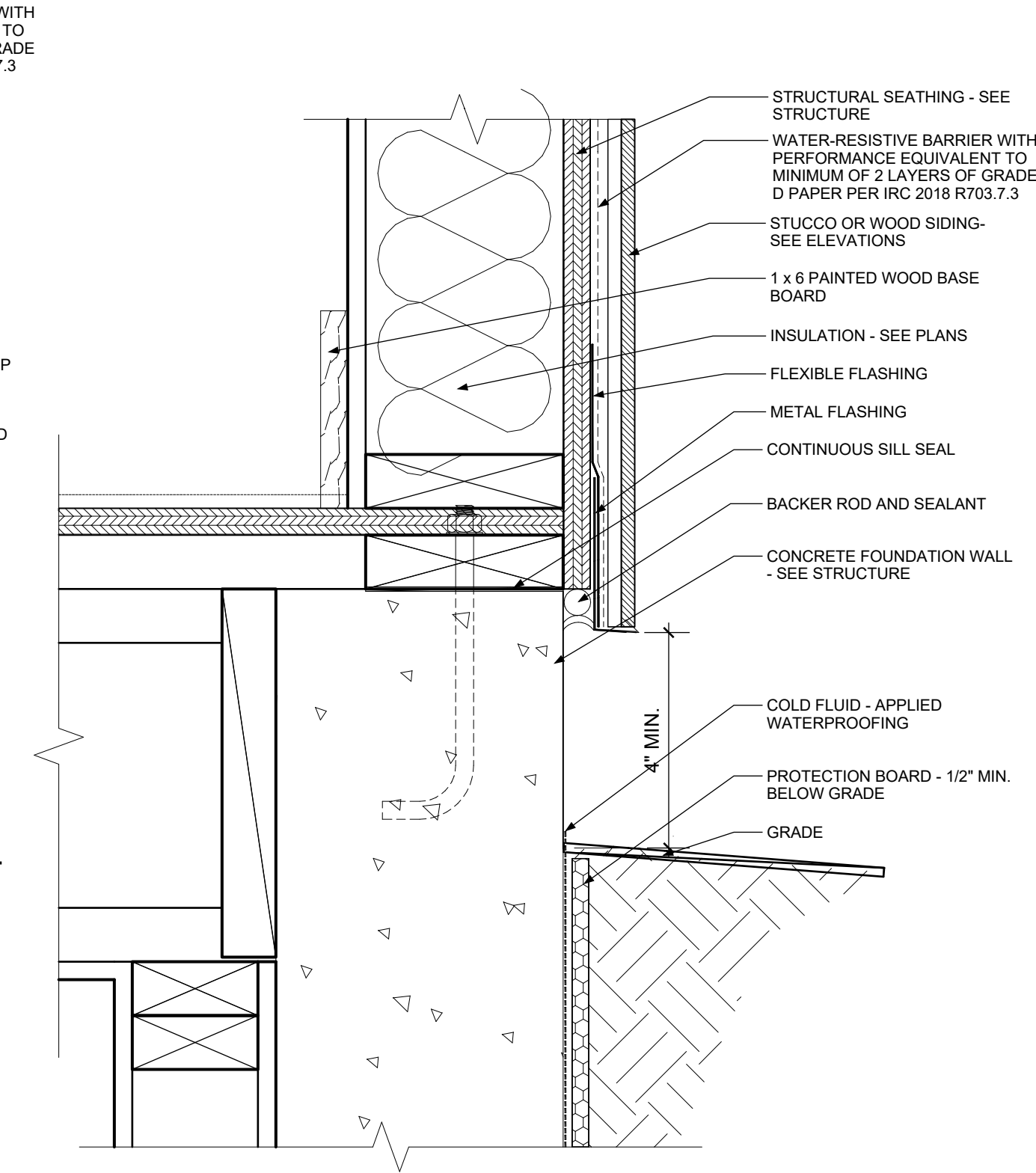
2 DETAIL - Window Head
SCALE :: 3" = 1' - 0"



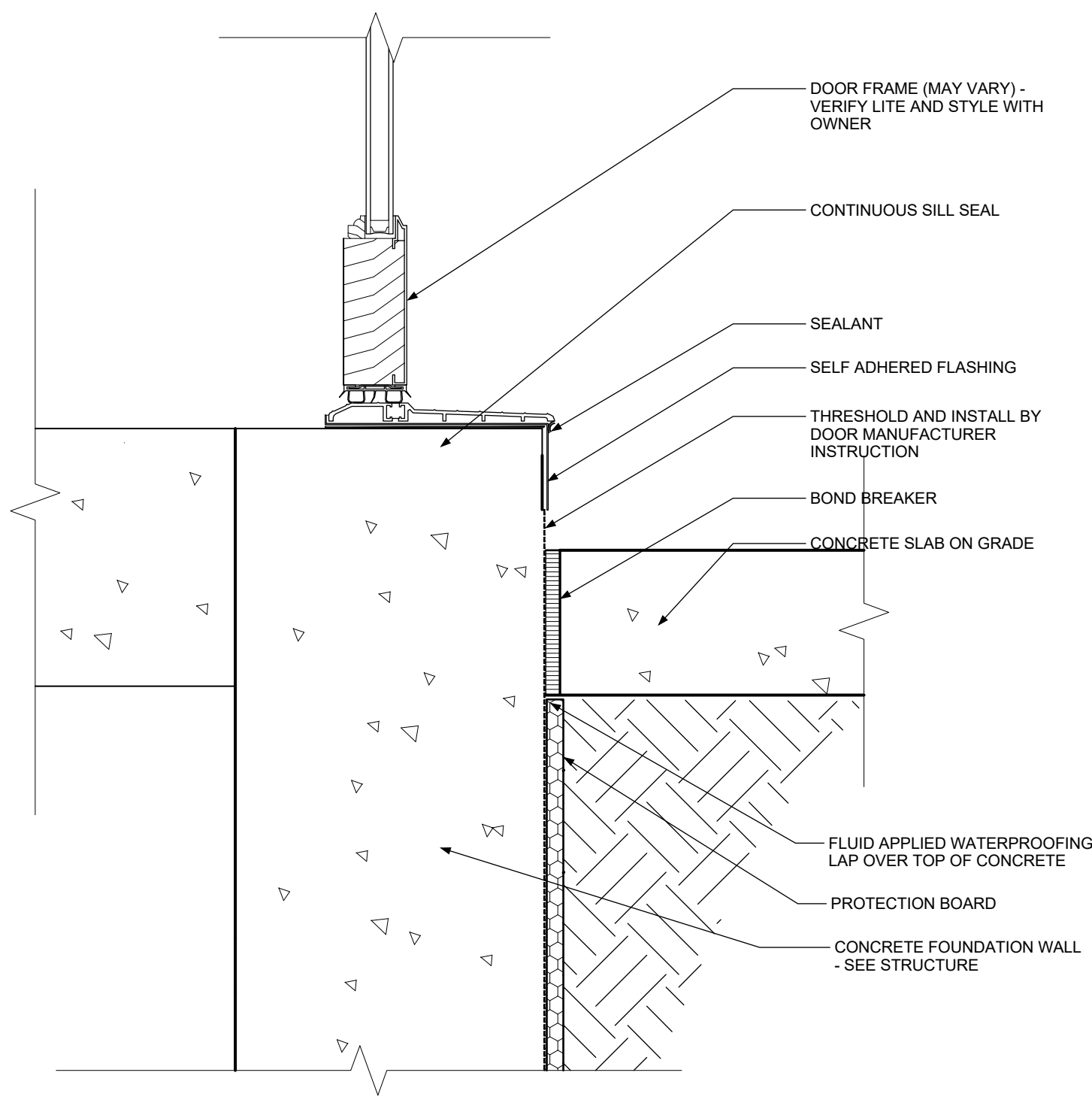
3 DETAIL - Door Jamb at Exterior
SCALE :: 3" = 1' - 0"



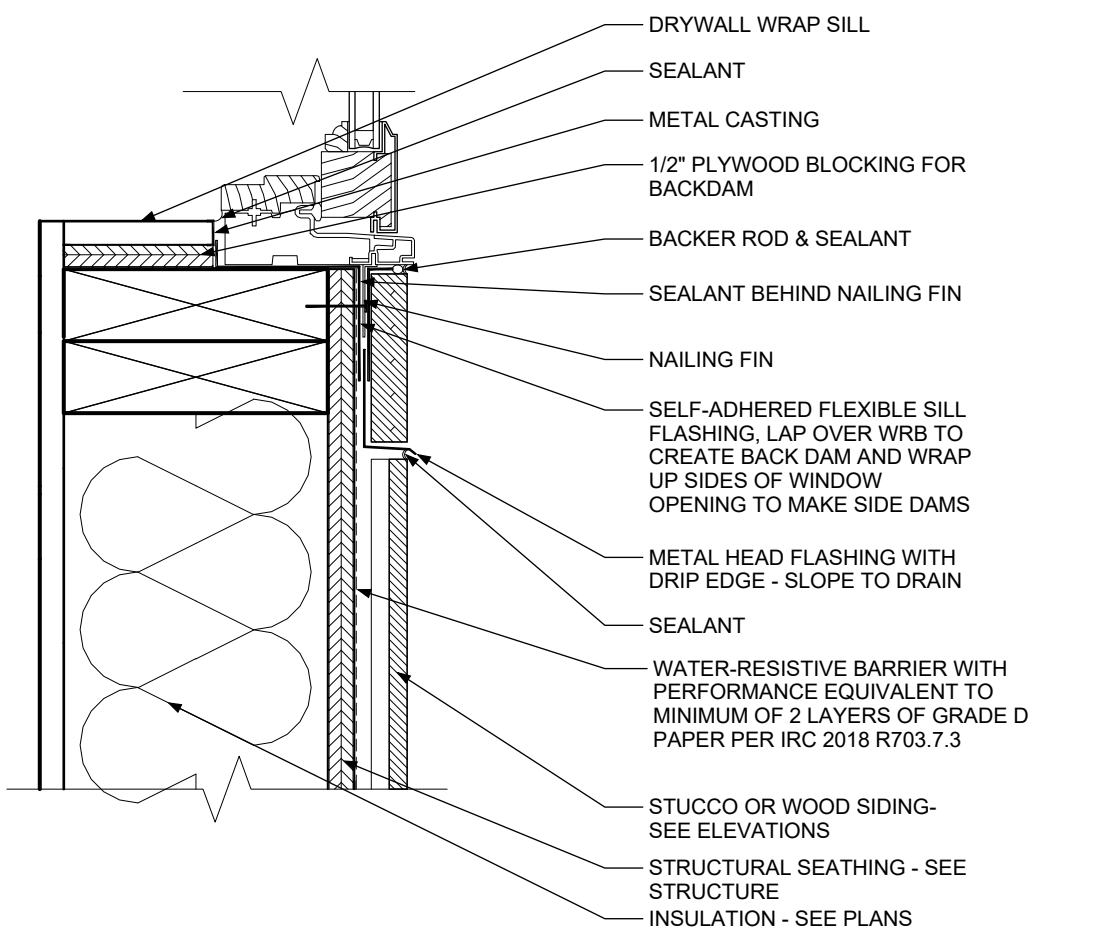
4 DETAIL - Exterior Cladding at Horizontal Trim
SCALE :: 3" = 1' - 0"



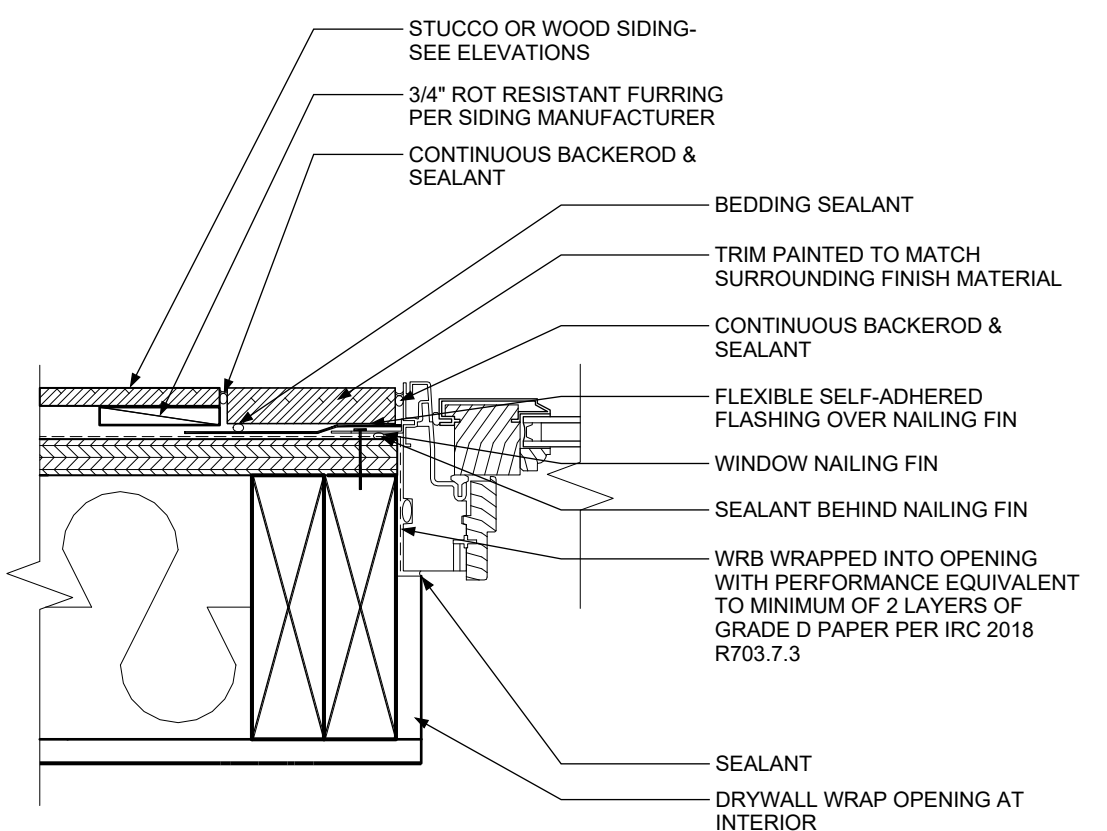
5 DETAIL - Exterior Cladding at Foundation
SCALE :: 3" = 1' - 0"



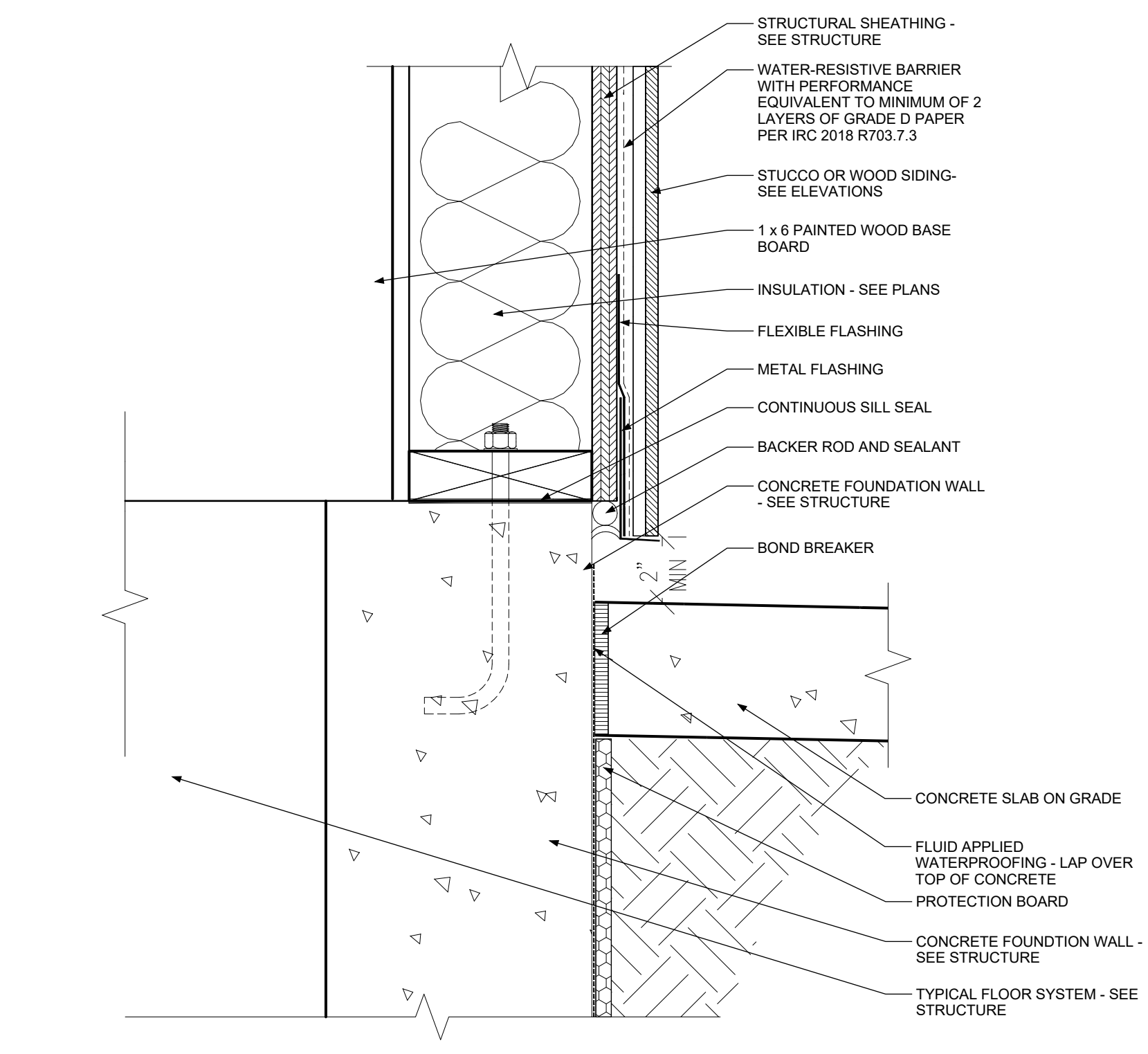
6 DETAIL - Door Threshold
SCALE :: 3" = 1' - 0"



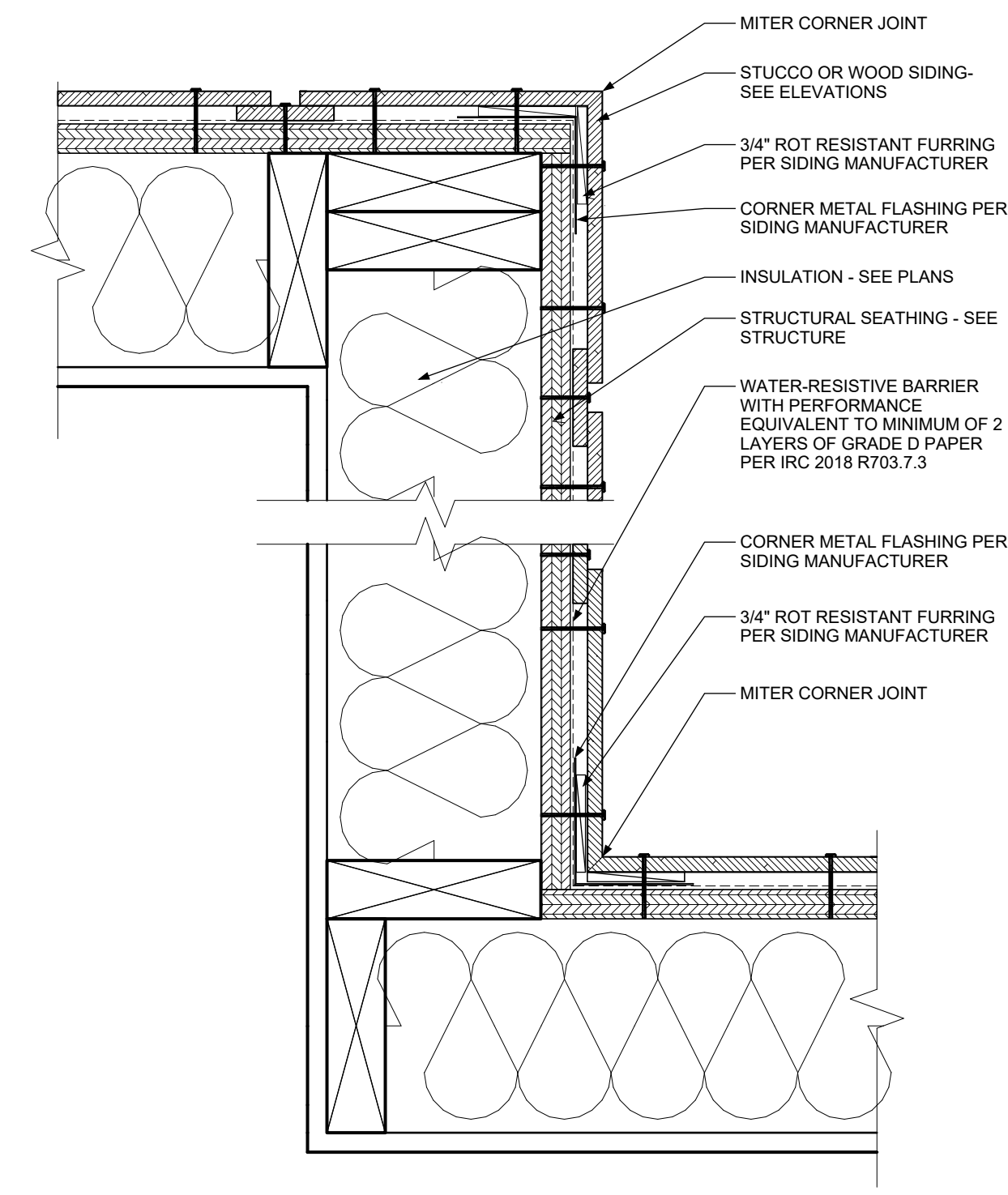
7 DETAIL - Window Sill
SCALE :: 3" = 1' - 0"



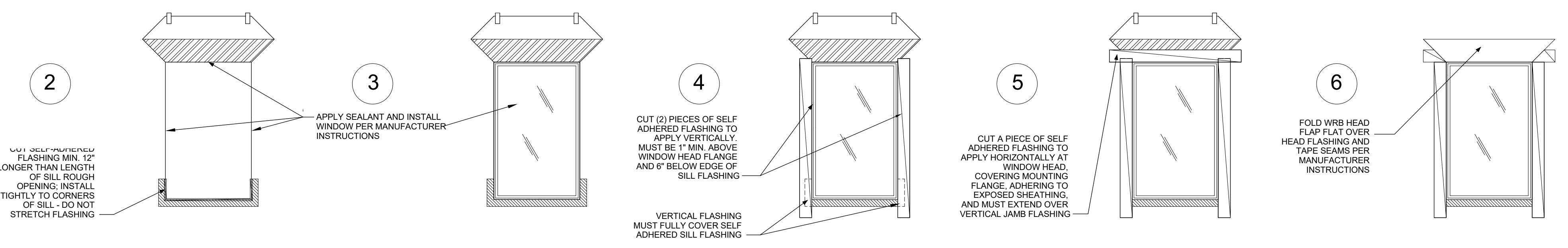
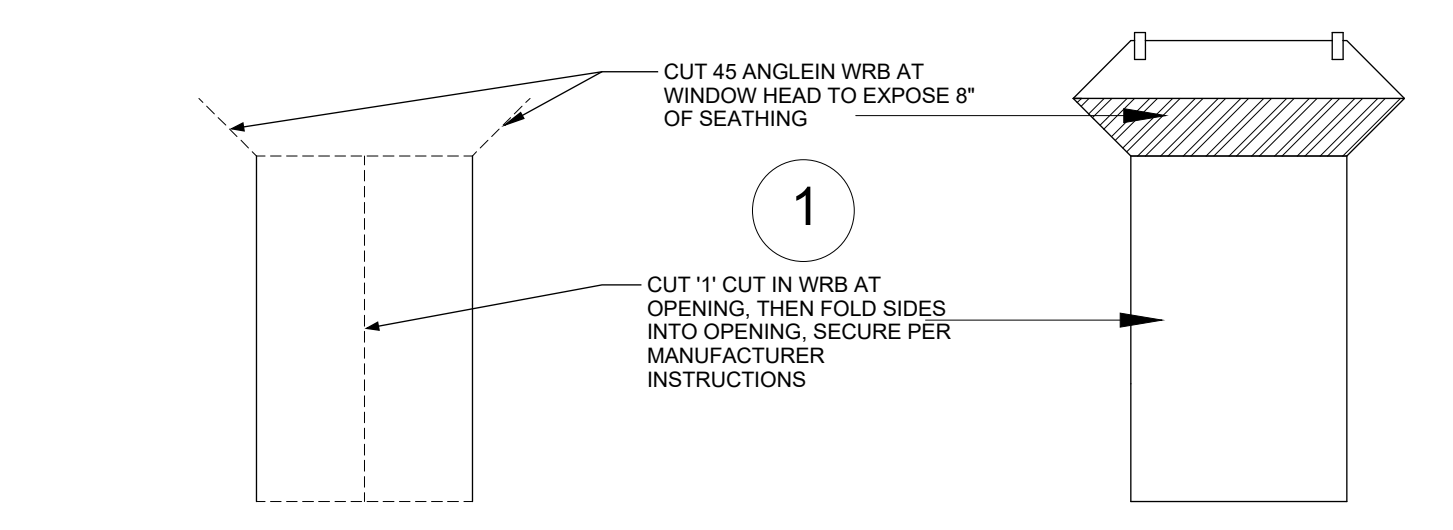
8 DETAIL - Window Jamb at Exterior
SCALE :: 3" = 1' - 0"



9 DETAIL - Exterior Cladding at Slab on Grade
SCALE :: 3" = 1' - 0"



10 DETAIL - Exterior Cladding Interior and Exterior Corners
SCALE :: 3" = 1' - 0"



11 DETAIL - Window Flashing Sequence
NO SCALE

BRIGHTMAN DESIGNS
2417 E. 28th Ave.
Denver, CO 80205
720.443.3242
info@brightmandesigns.com

PROJECT INFO

HICKS RESIDENCE RENOVATION

OWNER: Joe Hicks
joehicksdenver@gmail.com
720.560.1211

DOCUMENT DATE: March 30, 2021
DENVER LOG#: 2020-LOG-0009820

DRAWN BY: MB
CHECKED BY: MB

235 S. Ivy St. :: Denver, CO :: 80205

△	REV 1 - SUDP COMMENTS 2020.12.07
△	REV 2 - SUDP COMMENTS 2021.02.26
△	FOR CONSTRUCTION
△	
△	
△	